

CITY OF AUSTIN
ROW # 10693596

CASE # 2011-112589PR

TCAD # 0413110925

APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION (RDCC)

GENERAL MODIFICATION WAIVER

STREET ADDRESS: 1125+1129 Salem Park Court

LEGAL DESCRIPTION: Subdivision - Salem Center

Lot(s) _____ Block _____ Outlot _____ Division _____

LAND STATUS DETERMINATION CASE NUMBER (if applicable) _____

I/We Jim Nance on behalf of myself/ourselves as authorized agent for

Treaty Oak Homes, LLC affirm that on Dec 19, 2011,

hereby apply for a hearing before the Residential Design and Compatibility Commission for modification Section 2.8.1. of up to 25% increase in one or more of the following:

- Maximum Floor to area ratio .4 or Gross floor area 2300 sq ft.
- Maximum Linear feet of Gables protruding from setback plane
- Maximum Linear feet of Dormers protruding from the setback plane

Waive or modify the side wall articulation requirement of Section 2.7.

Side Wall Length Articulation
(Please describe request. Please be brief but thorough).

The applicant is requesting a modification of an expired approved waiver that allowed an increase of up to 25% in the maximum floor to area ratio or maximum square footage of gross floor area; Maximum linear feet of gables or dormers protruding from the setback plane; or waive or modify the side wall articulation requirement from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.8.1 A & B Subchapter F: Residential Design and Compatibility Standards to continue building on the remainder 22 single family lots using the design criteria they have used on the existing single family homes allowing for compatibility through the entire lots in a SF6-C/O zoning district in the Salem Center Subdivision.

in a SF-6C0 zoning district.

Note: Certificate of Appropriateness: H (Historic) or HD (Historic Designation) – case goes to RDCC first. National Register Historical District (NRHD) Overlay: without H or HD - case goes to Historic Landmark Commission first.

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REASONABLE USE:

1. The Residential Design and Compatibility Standards Ordinance applicable to the property does not allow for a reasonable use because:

LOT SLOPE TOWARDS REAR INHIBITS DEVELOPE-
MENT TOWARDS ~~REAR~~ BACK OF LOT W/
2-STORY DESIGN

REQUEST:

2. The request for the modification is unique to the property in that:

WILL ALLOW 2-STORY PLANS THAT WORK
ON OTHER LOTS TO BE USED FOR
~~OTHER~~ ONLY IN THE DEVELOPEMENT.

AREA CHARACTER:

3. The modification will not alter the character of the area adjacent to the property, will not impair the use of adjacent conforming property, and will not impair the purpose of the regulations of the zoning district in which the property is located because:

ADJOINING PROPERTY IS IN THIS DEVELOPEMENT
OR ACROSS ~~THE~~ EASEMENT.

CITY OF AUSTIN
APPLICATION TO THE RESIDENTIAL DESIGN
AND COMPATIBILITY COMMISSION

GENERAL MODIFICATION WAIVER

APPLICANT CERTIFICATE - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address 205 Wild Basin Rd. S.
City, State Austin, Texas Zip 78746
Phone (512) 684-3880 Printed Name Jim Nance
Signature  Date 12-10-11

OWNER'S CERTIFICATE - I affirm that my statements contained in the complete application are true and correct to the best of my knowledge and belief.

Mailing Address Same
City, State _____ Zip _____
Phone _____ Printed Name Jim Nance
Signature  Date 12-10-11



**Residential Design Compatibility Commission
MINUTES (Revised)**

**REGULAR MEETING
January 5, 2011**

The Residential Design Compatibility Commission convened in a regular meeting on January 5, 2011, City Hall, Boards and Commission Room, 301 West 2nd Street in Austin, Texas.

William Burkhardt called the Commission Meeting to order at 6:00 p.m.

Commissioners in Attendance: William Burkhardt, Karen McGraw, Beth Engelland, Keith Jackson, Lucy Katz, Chuck Mains, Jean Stevens

City Staff: Sylvia Benavidez

A. CITIZEN COMMUNICATION: GENERAL

The first 4 speakers signed up prior to the meeting being called to order will each be allowed a three-minute allotment to address their concerns regarding items not posted on the agenda.

No Speakers

B. APPROVAL OF MINUTES (December 1, 2010)

The motion for the minutes from December 1, 2010 was approved without objections.

**C. RESIDENTIAL DESIGN AND COMPATIBILITY STANDARD
POSTPONEMENT**

**C-1 10-104084RA Leslie Hoard
4212 Ramsey Avenue**

The applicant has requested a modification to allow a F.A.R. increase from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.1 Subchapter F: Residential Design and Compatibility Standards from the allowable 40% (2700) to 46.1% (3110) square feet to allow a 410 sq foot two story addition to an existing two story single family residence.

The public hearing was closed on Board Member Jean Stevens motion to POSTPONE TO February 2, 2011 requesting additional information, Board Member Keith Jackson second on a 7-0 vote; POSTPONED TO February 2, 2011.

C-2 10-106755PR

**Greg Hammonds
1125 and 1129 Salem Park Court**

The applicant is requesting a future modification to allow an increase of up to 25% in the maximum floor to area ratio or maximum square footage of gross floor area; Maximum linear feet of gables or dormers protruding from the setback plane; or waive or modify the side wall articulation requirement from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.8.1 A & B Subchapter F: Residential Design and Compatibility Standards to continue building on the remainder 22 single family lots using the design criteria they have used on the existing single family homes allowing for compatibility through the entire 42 lots in a SF6-C/O zoning district in the Salem Center Subdivision.

The public hearing was closed on Board Member Karen McGraw motion to Grant to approve an increase of up to 25% in the 1) maximum floor to area ratio or maximum square footage of gross floor area, 2) Maximum linear feet of gables or dormers protruding from the setback plane; Waive or modify the side wall articulation; Board Member Beth Engelland second on a 7-0 vote; GRANTED.

RDCC Case #10-106755PR

Case #10-106757PR

Plan Name	Plan #	Total Elevation A with Masonry	Total Elevation B With Masonry	# of Flrs.
Treaty Oak Homes	1299 RF	1712 sf optional garage ext. 26 sf	1712 sf optional garage ext. 26 sf	2
Treaty Oak Homes	1930 RF	2524 with tandem garage optional covd patio 103 sf	2546 with tandem garage optional covd patio 103 sf	2
Treaty Oak Homes	1706 RF	2112 sf optional 24 sq ft garage extension optional loft-media- bedrm-gmroom 298 sf	2091 sf optional 24 sq ft garage extension optional loft-media- bedrm-gmroom 298 sf	2
Treaty Oak Homes	1179	1580 sf optional 26 sq ft garage extension	1606 sf optional 26 sq ft garage extension	2
Treaty Oak Homes	1471	1774 sf optional 25 sq ft garage extension optional covd patio 83 sf	1778 sf optional 25 sf garage extension optional cvd patio 83 sf	2
Treaty Oak Homes	2077- I and II	2494 sf plan I	2,599 s.f. Plan II	2

C-3 10-106757PR

**Greg Hammonds
1201, 1205, 1209, 1212, 1301, 1305, 1309, 1313, 1317,
1321, 1325, 1329, 1333 Central Park Court**

The applicant is requesting a future modification to allow an increase of up to 25% in the maximum floor to area ratio or maximum square footage of gross floor area; Maximum linear feet of gables or dormers protruding from the setback plane; or waive or modify the

side wall articulation requirement from the maximum development permitted in Chapter 25-2 of the Land Development Code, Section 2.8.1 A & B Subchapter F: Residential Design and Compatibility Standards to continue building on the remainder 22 single family lots using the design criteria they have used on the existing single family homes allowing for compatibility through the entire 42 lots in a SF6-C/O zoning district in the Salem Center Subdivision.

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DISCUSSION ITEMS:

1. Commissioner William Burkhardt recommended to all commissioners that late support material would be given up to 15 minutes for review at the beginning of each meeting.

The recommendation was supported unanimously.

ADJOURNMENT

The City of Austin is committed to compliance with the American with Disabilities Act. Reasonable modifications and equal access to communications will be provided upon request. Meeting locations are planned with wheelchair access. If requiring Sign Language Interpreters or alternative formats, please give notice at least 4 days before the meeting date. Please call Sylvia Benavidez at Planning and Development Review Department, at 512-974-2522, sylvia.benavidez@ci.austin.tx.us, for additional information; TTY users route through Relay Texas at 711.

Revised:

ORDINANCE NO. 20100624-143

AN ORDINANCE REPEALING AND REPLACING ARTICLE 1 OF CITY CODE CHAPTER 25-12 TO ADOPT THE 2009 INTERNATIONAL BUILDING CODE AND LOCAL AMENDMENTS; AND AMENDING CITY CODE CHAPTER 25-12 TO ADD NEW SECTIONS 25-12-266, 25-12-267, 25-12-268, 25-12-269, AND 25-12-270 RELATING TO PERMIT APPLICATIONS AND EXPIRATION.

[Applies to all Technical Codes]

PART 2. City Code Chapter 25-12, Article 13 (*Administration of Technical Codes*) is amended to add new Sections 25-12-266, 25-12-267, 25-12-268, 25-12-269, and 25-12-270 to read as follows:

§ 25-12-266 TIME LIMITATION OF APPLICATION.

An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless a permit has been issued; except that the building official is authorized to grant one extension of time for an additional period not to exceed 180 days. The extension shall be requested in writing before the application expires and justifiable cause demonstrated.

§ 25-12-267 EXPIRATION.

Except as provided in Section 25-12-268 (*Extension*) and Section 25-12-269 (*Reactivation*), a permit expires on the 181st day:

1. after the date that the permit is issued, if the project has received no inspections as required under this code; or
2. after the date of the last scheduled inspection if that inspection is scheduled before the 181st day and once performed, shows progress towards completion of the project.

§ 25-12-268 EXTENSION.

Upon written request submitted prior to the expiration date, the building official may grant a one-time extension for a period not to exceed 180 days. Except as provided in Section 25-12-269 (*Reactivation*), a permit expires on the 181st day after the extension is granted if the project has received no inspections as required under this code.

§ 25-12-269 REACTIVATION.

(A) The building official may reactivate a permit for a project that has received no inspections for a period of more than 180-days in accordance with the following requirements:

(1) An application to reactivate a permit must be submitted on a form provided by the building official, along with a reactivation fee established by separate ordinance, no later than 180-days after the expiration date provided for under Section 25-12-267 (*Expiration*) or Subsection (B) of this section.

(2) The application must include evidence demonstrating that substantial work required to complete the project was commenced in the 180-day period prior to the expiration date provided for under Section 25-12-267 (*Expiration*). The evidence, which must be in a form approved by the building official, may include receipts or invoices for work performed on the project, photographs of work performed on the project, or other evidence acceptable to the building official.

(B) A permit that is reactivated in accordance with this section expires on the 181st day after the date that the permit is reactivated if the project has received no inspections as required under this code.

(C) No more than one reactivation may be approved for a one- and two-family residential structure, unless the project complies with all codes and ordinances in effect on the date that the application for reactivation is submitted.

§ 25-12-270 REVIEW FEE FOR EXPIRED PERMITS.

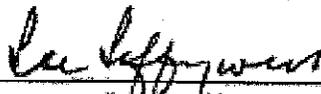
An applicant for a permit under this chapter must pay an expired permit review fee, established by separate ordinance, if the applicant has obtained one or more expired permits that have not been either reactivated in accordance with the requirements of Section 25-12-269 (*Reactivation*) or withdrawn by the property owner, in writing, on a form provided by the building official.

PART 3. This ordinance takes effect on October 1, 2010.

PASSED AND APPROVED

June 24, 2010

500
500
500
500



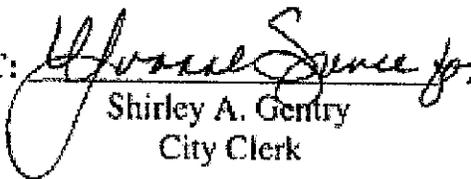
Lee Leffingwell
Mayor

APPROVED:



Karen M. Kennard
Acting City Attorney

ATTEST:



Shirley A. Gentry
City Clerk

ORDINANCE NO. 020829-29

AN ORDINANCE REZONING AND CHANGING THE ZONING MAP FOR THE PROPERTY LOCATED AT 1100 WEST STASSNEY LANE FROM NEIGHBORHOOD COMMERCIAL (LR) DISTRICT, MULTIFAMILY RESIDENCE LOW DENSITY (MF-2) DISTRICT, MULTIFAMILY RESIDENCE MEDIUM DENSITY (MF-3) DISTRICT AND COMMUNITY COMMERCIAL (GR) DISTRICT TO TOWNHOUSE AND CONDOMINIUM RESIDENCE-CONDITIONAL OVERLAY (SF-6-CO) COMBINING DISTRICT.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF AUSTIN:

PART 1. The zoning map established by Section 25-2-191 of the City Code is amended to change the base district from neighborhood commercial (LR) district, multifamily residence low density (MF-2) district, multifamily residence medium density (MF-3) district and community commercial (GR) district to townhouse and condominium residence-conditional overlay (SF-6-CO) combining district on the property described in Zoning Case No. C14-02-0005, on file at the Neighborhood Planning and Zoning Department, as follows:

Lot B-2, Salem Center Subdivision, a subdivision in the City of Austin, Travis County, Texas, according to the map or plat of record in Plat Book 83, Pages 144B-144C, of the Plat Records of Travis County, Texas, (the "Property")

locally known as 1100 West Stassney Lane, in the City of Austin, Travis County, Texas, and generally identified in the map attached as Exhibit "A".

PART 2. The Property within the boundaries of the conditional overlay combining district established by this ordinance is subject to the following conditions:

1. The maximum height is 15 feet for a structure or a portion of a structure constructed within 50 feet of the north property line.
2. Development of the Property may not exceed 40 percent impervious coverage.
3. Development of the Property may not exceed 44 residential units.
4. A building may not contain more than one residential unit.

5. Development of the Property may not exceed 5.370 residential units per acre.

Except as specifically restricted under this ordinance, the Property may be developed and used in accordance with the regulations established for the townhouse and condominium residence (SF-6) base district and other applicable requirements of the City Code.

PART 3. The Council waives the requirements of Section 2-2-3 and 2-2-7 of the City Code for this ordinance.

PART 4. This ordinance takes effect on September 9, 2002.

PASSED AND APPROVED

August 29, 2002

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§
§
§

Gustavo L. Garcia

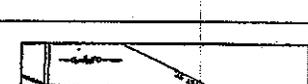
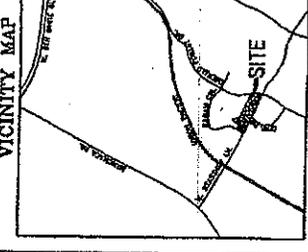
Gustavo L. Garcia
Mayor

APPROVED:

Sedora Jefferson
Sedora Jefferson
City Attorney

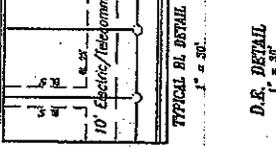
ATTEST:

Shirley A. Brown
Shirley A. Brown
City Clerk



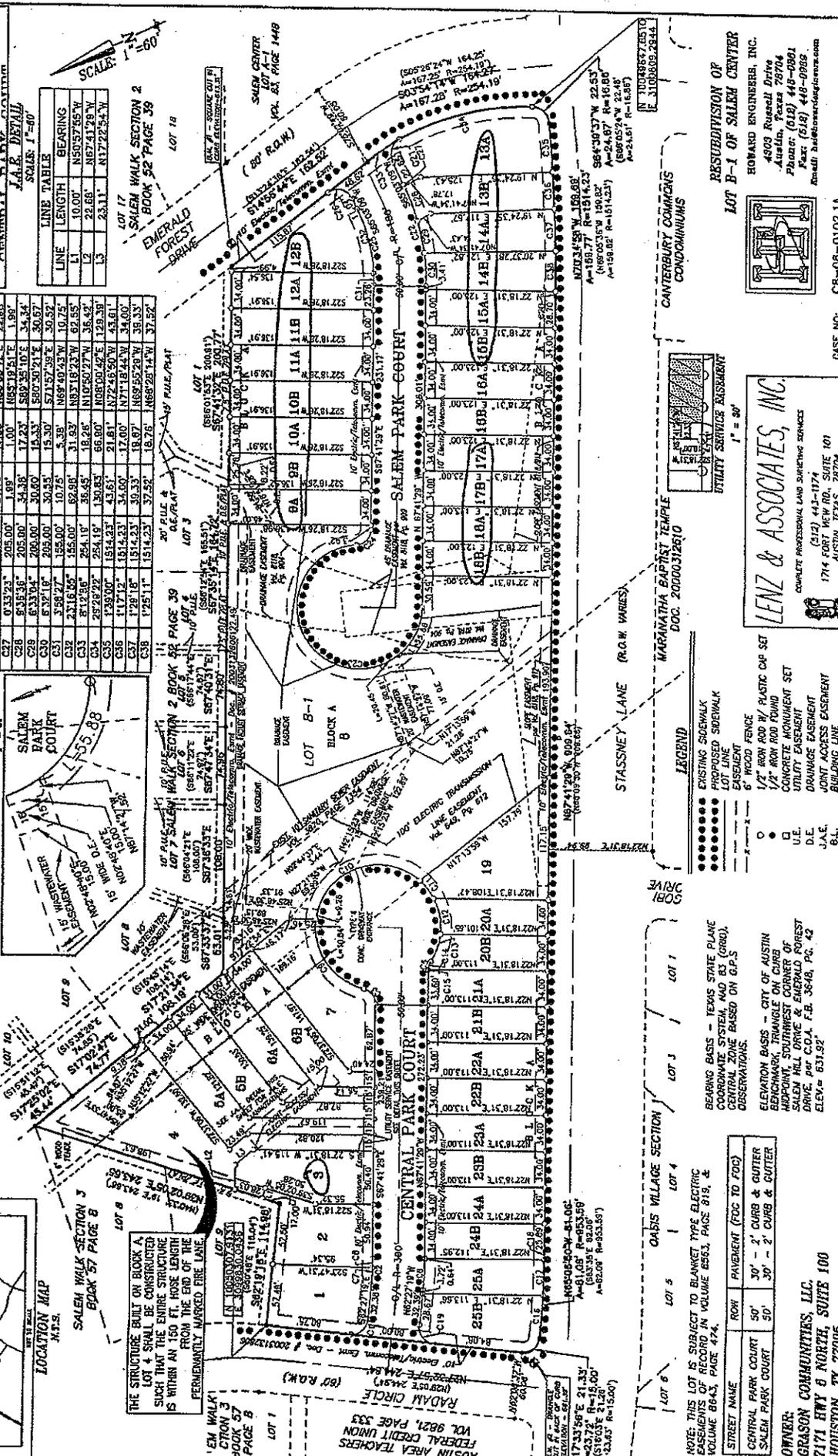
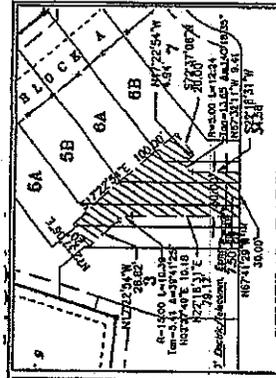
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C1	90°00'00"	15.00'	23.56'	11.77'	N172°21'11"W	21.21'
C2	5°14'10"	275.00'	23.13'	12.57'	N85°04'24"W	23.12'
C3	77°11'33"	15.00'	29.21'	11.97'	N73°47'44"W	16.71'
C4	289°31'17"	60.00'	303.19'	42.39'	N00°07'21"W	69.24'
C5	32°15'44"	15.00'	6.46'	3.45'	N51°31'37"W	6.35'
C6	5°14'10"	275.00'	23.13'	12.57'	N85°04'24"W	23.12'
C7	37°24'32"	275.00'	16.25'	8.18'	S84°38'33"E	16.36'
C8	149°38'00"	275.00'	6.77'	3.39'	S86°48'40"E	6.77'
C9	149°38'00"	275.00'	6.77'	3.39'	S86°48'40"E	6.77'
C10	124°29'40"	60.00'	130.21'	113.67'	N01°33'24"E	108.12'
C11	207°28'30"	60.00'	21.41'	10.82'	N73°57'00"E	21.29'
C12	33°45'30"	60.00'	35.18'	18.11'	S78°01'57"E	34.68'
C13	26°52'24"	60.00'	28.14'	14.33'	S48°47'57"E	27.88'



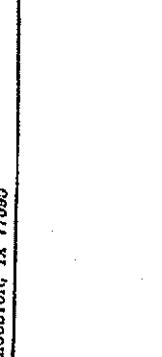
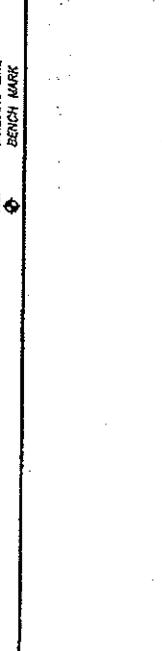
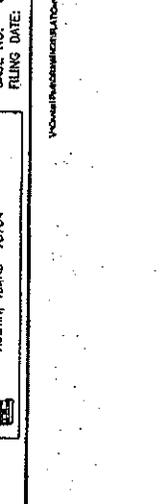
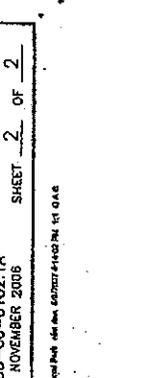
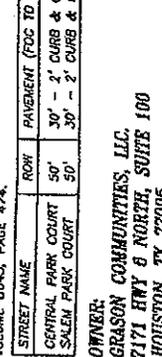
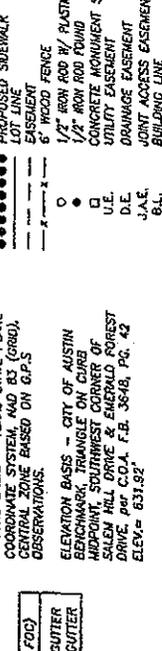
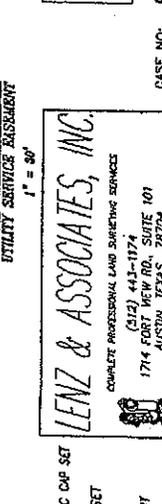
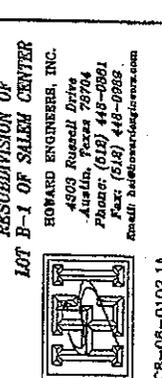
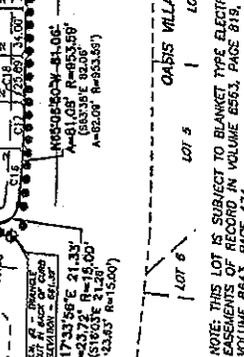
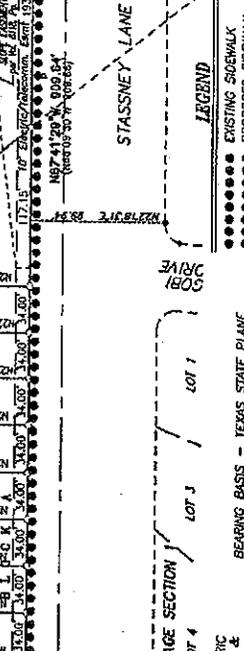
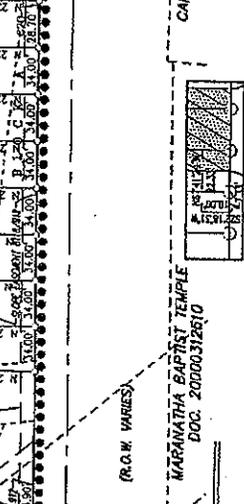
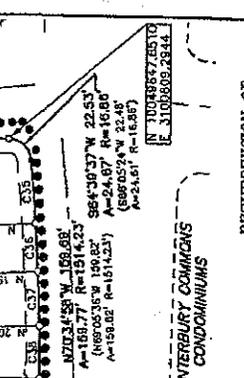
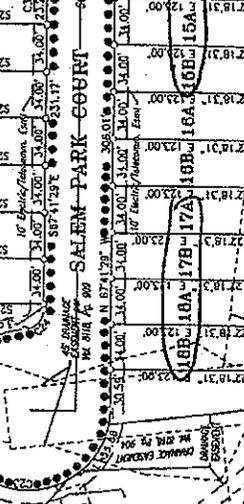
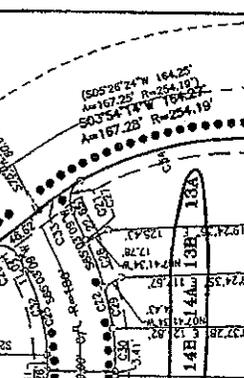
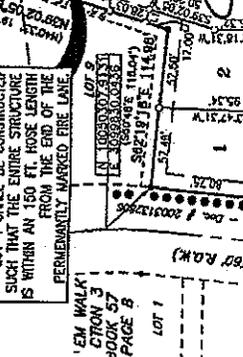
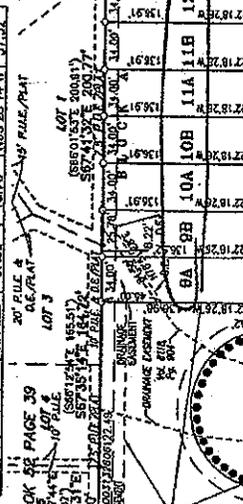
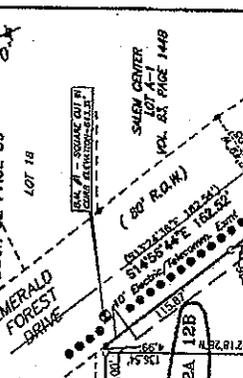
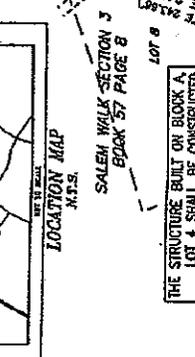
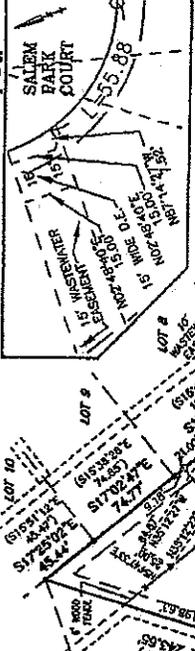
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C14	30°42'08"	15.00'	8.08'	4.11'	N80°45'13"W	7.96'
C15	1°32'26"	15.00'	0.40'	0.20'	N89°55'11"W	0.40'
C16	2°20'25"	65.16'	38.95'	19.49'	N85°58'24"W	36.95'
C17	6°10'18"	85.18'	34.02'	17.01'	S85°02'43"E	34.01'
C18	6°10'18"	85.18'	34.02'	17.01'	S85°02'43"E	34.01'
C19	89°59'44"	15.00'	21.55'	10.76'	S77°59'48"W	21.21'
C20	0°12'00"	15.00'	5.10'	2.55'	N87°39'58"W	5.10'
C21	88°15'25"	15.00'	21.09'	10.54'	N89°50'25"W	20.98'
C22	32°16'22"	206.00'	64.90'	32.45'	S81°19'10"E	64.84'
C23	246°51'04"	60.00'	27.94'	13.97'	S85°23'49"W	27.84'
C24	46°10'38"	15.00'	7.43'	3.71'	S81°19'10"E	7.43'
C25	27°15'25"	15.00'	7.43'	3.71'	S81°19'10"E	7.43'
C26	89°59'44"	15.00'	21.55'	10.76'	S77°59'48"W	21.21'
C27	0°12'00"	15.00'	5.10'	2.55'	N87°39'58"W	5.10'
C28	88°15'25"	15.00'	21.09'	10.54'	N89°50'25"W	20.98'
C29	32°16'22"	206.00'	64.90'	32.45'	S81°19'10"E	64.84'
C30	3°52'12"	298.00'	30.35'	15.30'	S71°57'39"E	30.52'
C31	3°52'12"	298.00'	30.35'	15.30'	S71°57'39"E	30.52'
C32	218°26"	15.00'	6.29'	3.15'	N83°18'23"W	19.75'
C33	218°26"	15.00'	6.29'	3.15'	N83°18'23"W	19.75'
C34	23°29'22"	254.19'	36.45'	18.26'	N10°50'27"W	36.43'
C35	1°39'00"	254.19'	130.83'	66.60'	N09°00'42"E	129.39'
C36	1°17'12"	151.23'	31.60'	17.60'	N71°18'44"W	34.00'
C37	1°17'12"	151.23'	31.60'	17.60'	N71°18'44"W	34.00'
C38	179°51'11"	151.23'	37.52'	19.76'	N69°28'14"W	37.52'



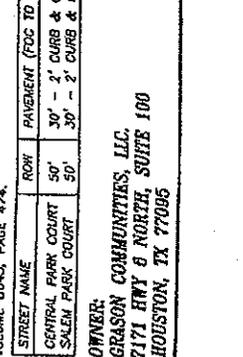
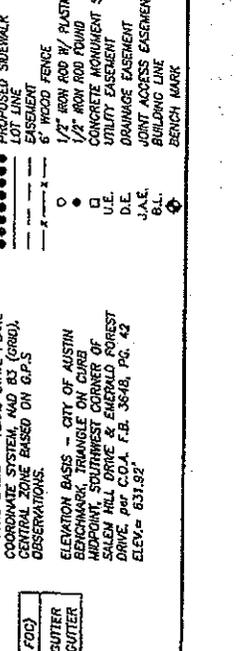
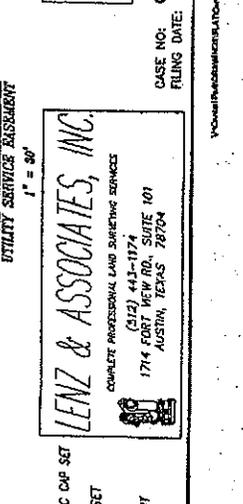
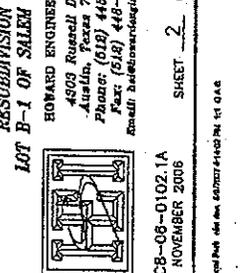
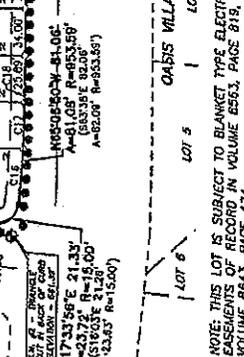
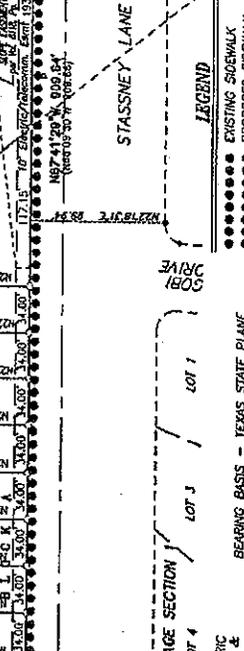
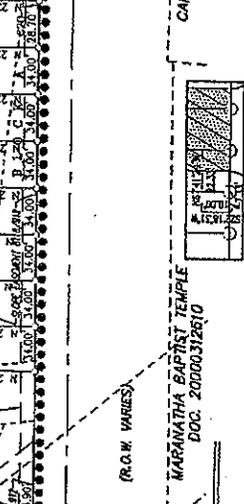
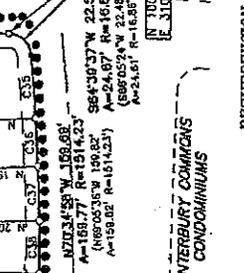
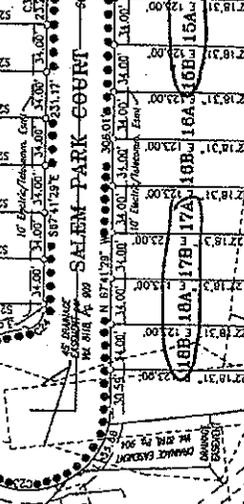
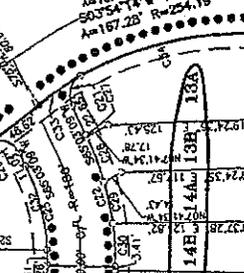
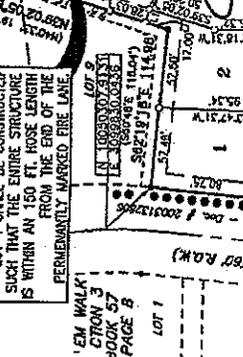
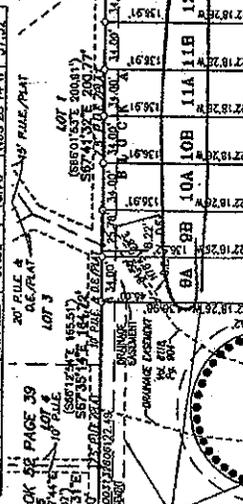
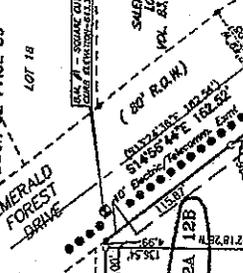
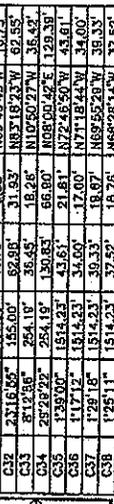
CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD BEARING	CHORD DIST.
C1	90°00'00"	15.00'	23.56'	11.77'	N172°21'11"W	21.21'
C2	5°14'10"	275.00'	23.13'	12.57'	N85°04'24"W	23.12'
C3	77°11'33"	15.00'	29.21'	11.97'	N73°47'44"W	16.71'
C4	289°31'17"	60.00'	303.19'	42.39'	N00°07'21"W	69.24'
C5	32°15'44"	15.00'	6.46'	3.45'	N51°31'37"W	6.35'
C6	5°14'10"	275.00'	23.13'	12.57'	N85°04'24"W	23.12'
C7	37°24'32"	275.00'	16.25'	8.18'	S84°38'33"E	16.36'
C8	149°38'00"	275.00'	6.77'	3.39'	S86°48'40"E	6.77'
C9	149°38'00"	275.00'	6.77'	3.39'	S86°48'40"E	6.77'
C10	124°29'40"	60.00'	130.21'	113.67'	N01°33'24"E	108.12'
C11	207°28'30"	60.00'	21.41'	10.82'	N73°57'00"E	21.29'
C12	33°45'30"	60.00'	35.18'	18.11'	S78°01'57"E	34.68'
C13	26°52'24"	60.00'	28.14'	14.33'	S48°47'57"E	27.88'



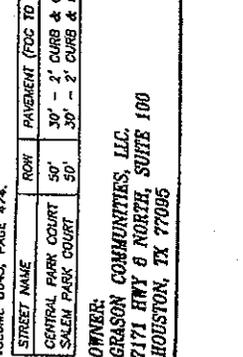
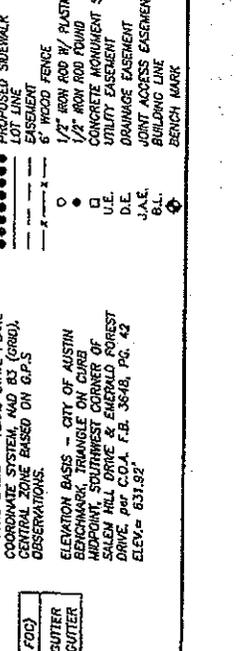
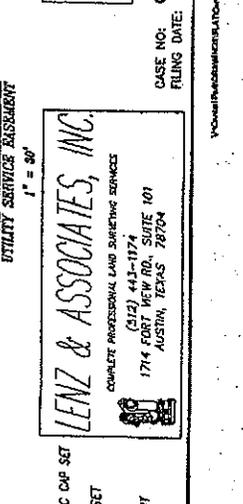
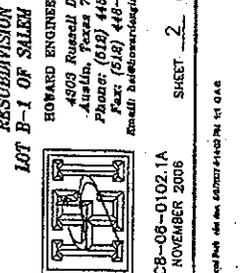
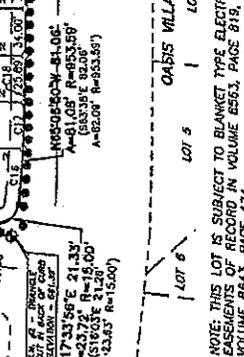
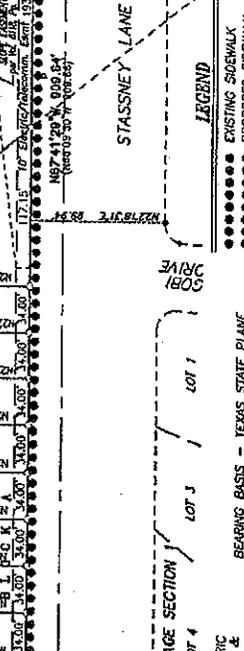
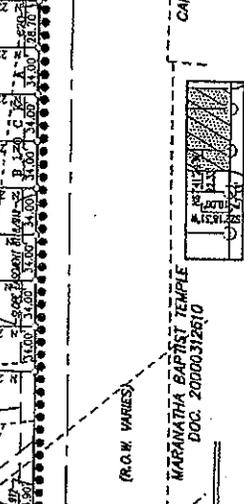
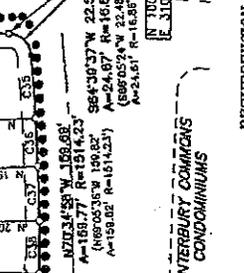
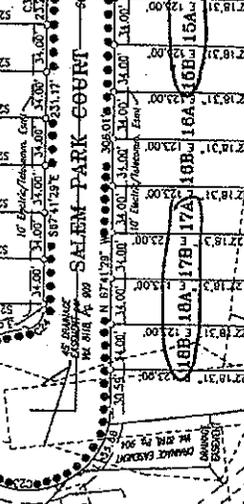
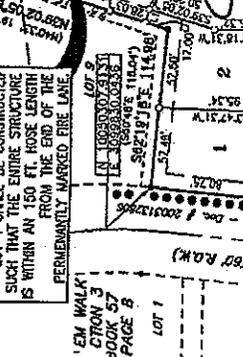
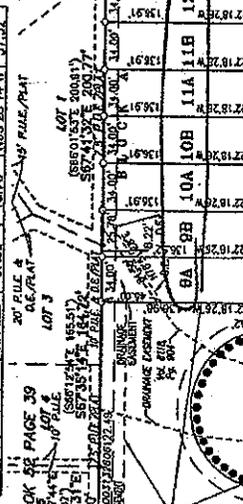
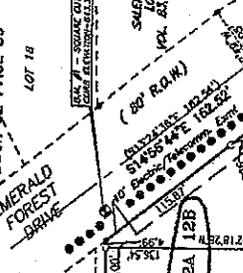
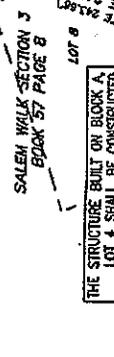
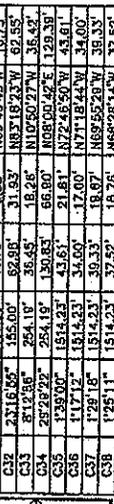
CURVE TABLE

LINE	LENGTH	BEARING
L1	10.00'	N50°57'55"W
L2	22.68'	N67°41'28"W
L3	23.11'	N17°22'54"W



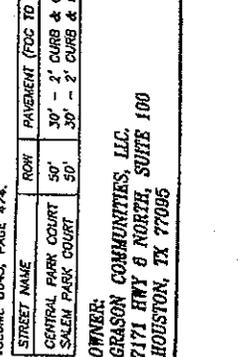
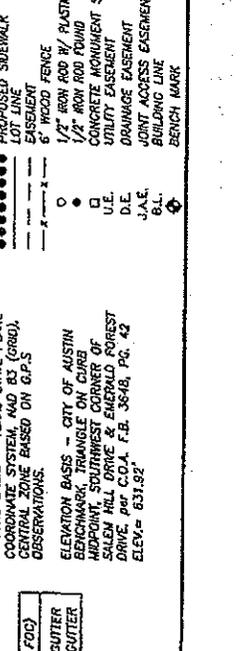
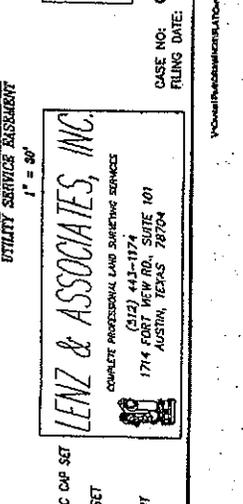
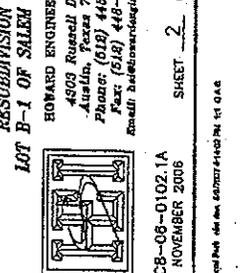
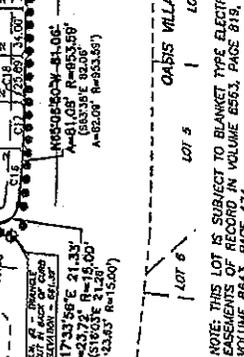
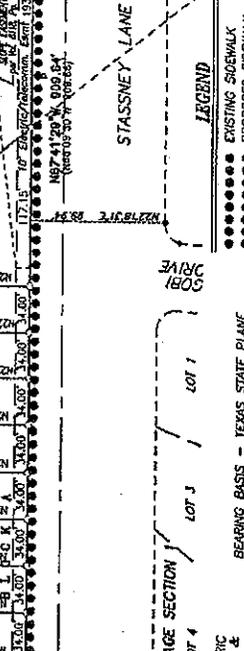
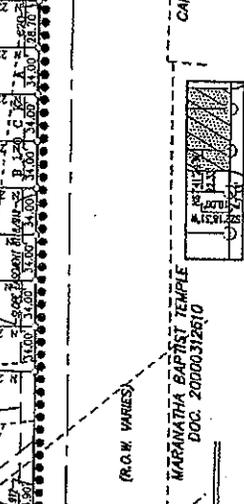
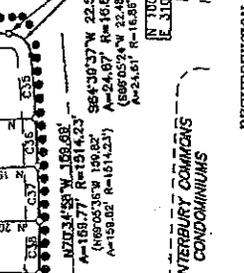
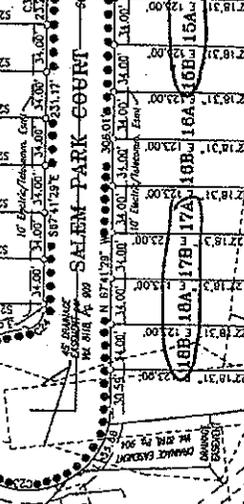
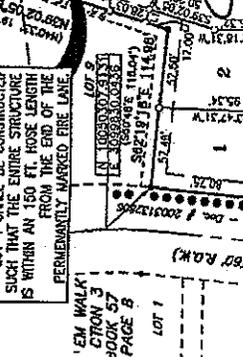
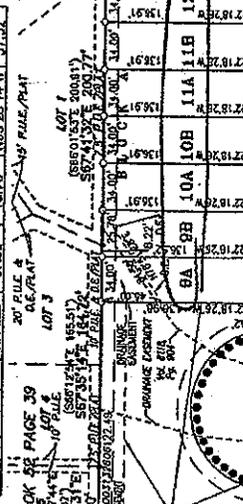
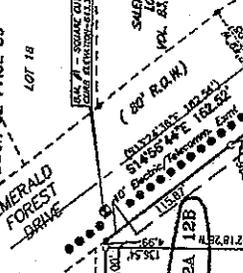
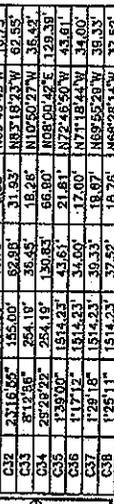
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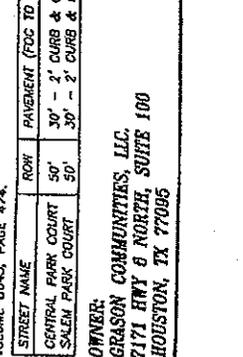
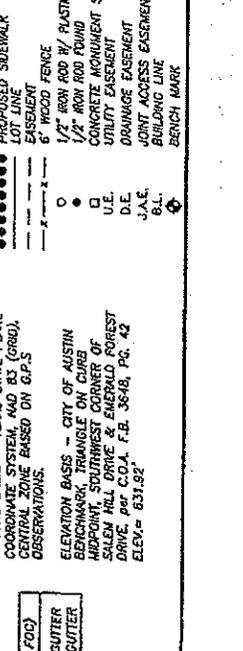
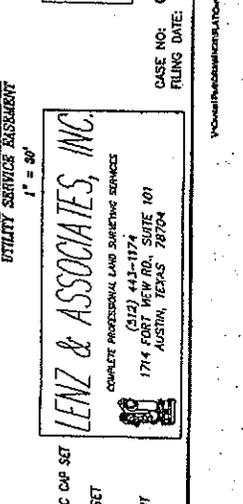
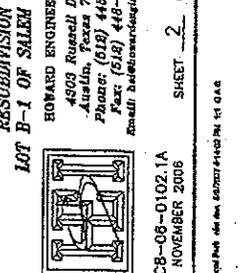
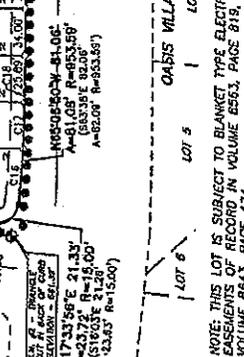
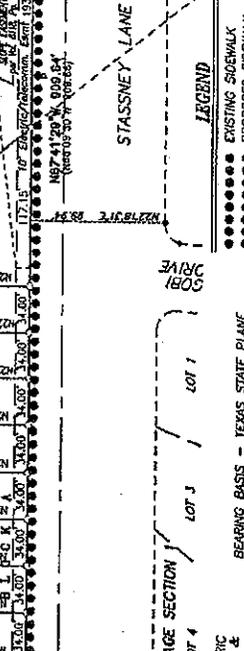
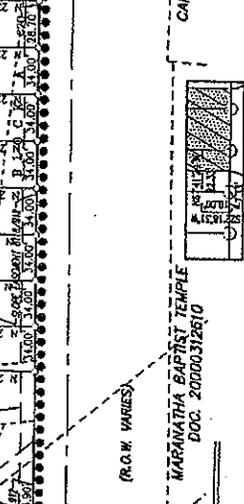
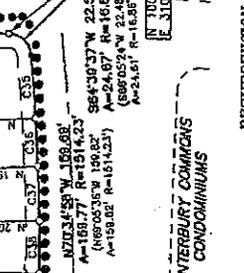
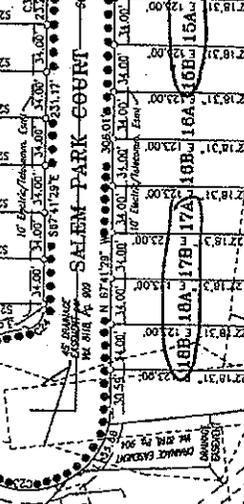
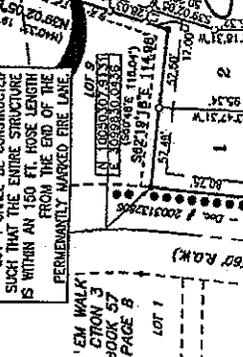
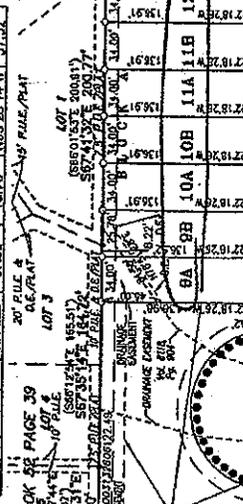
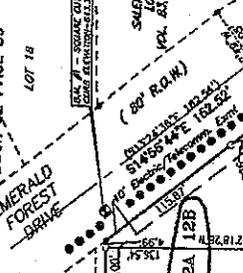
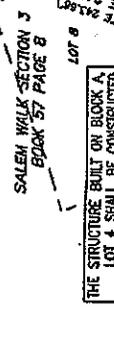
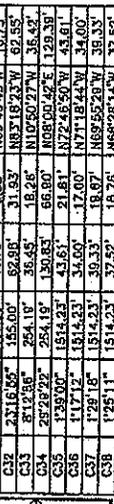
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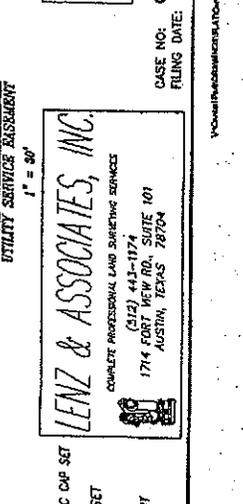
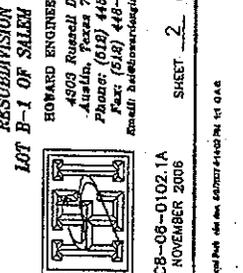
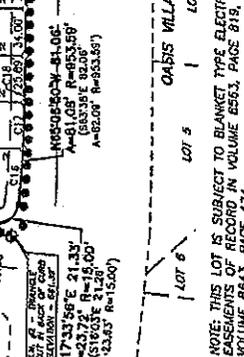
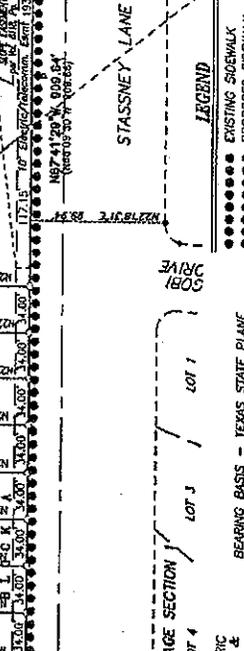
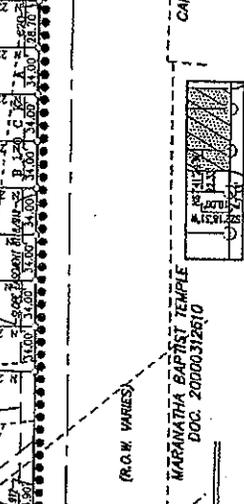
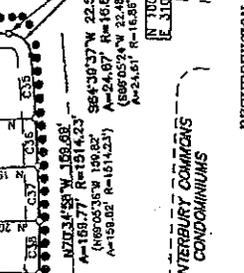
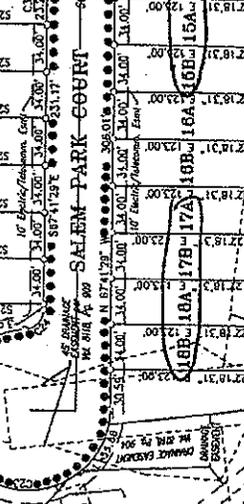
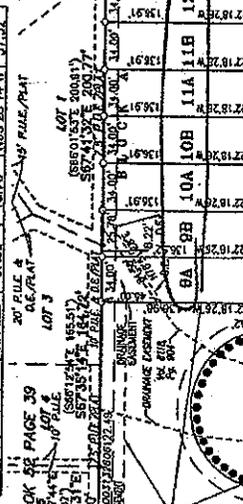
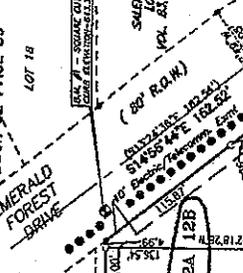
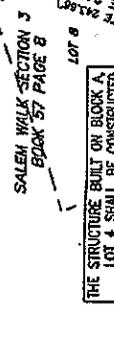
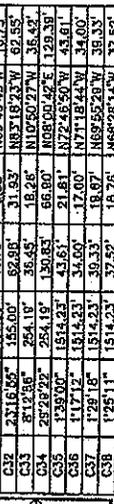
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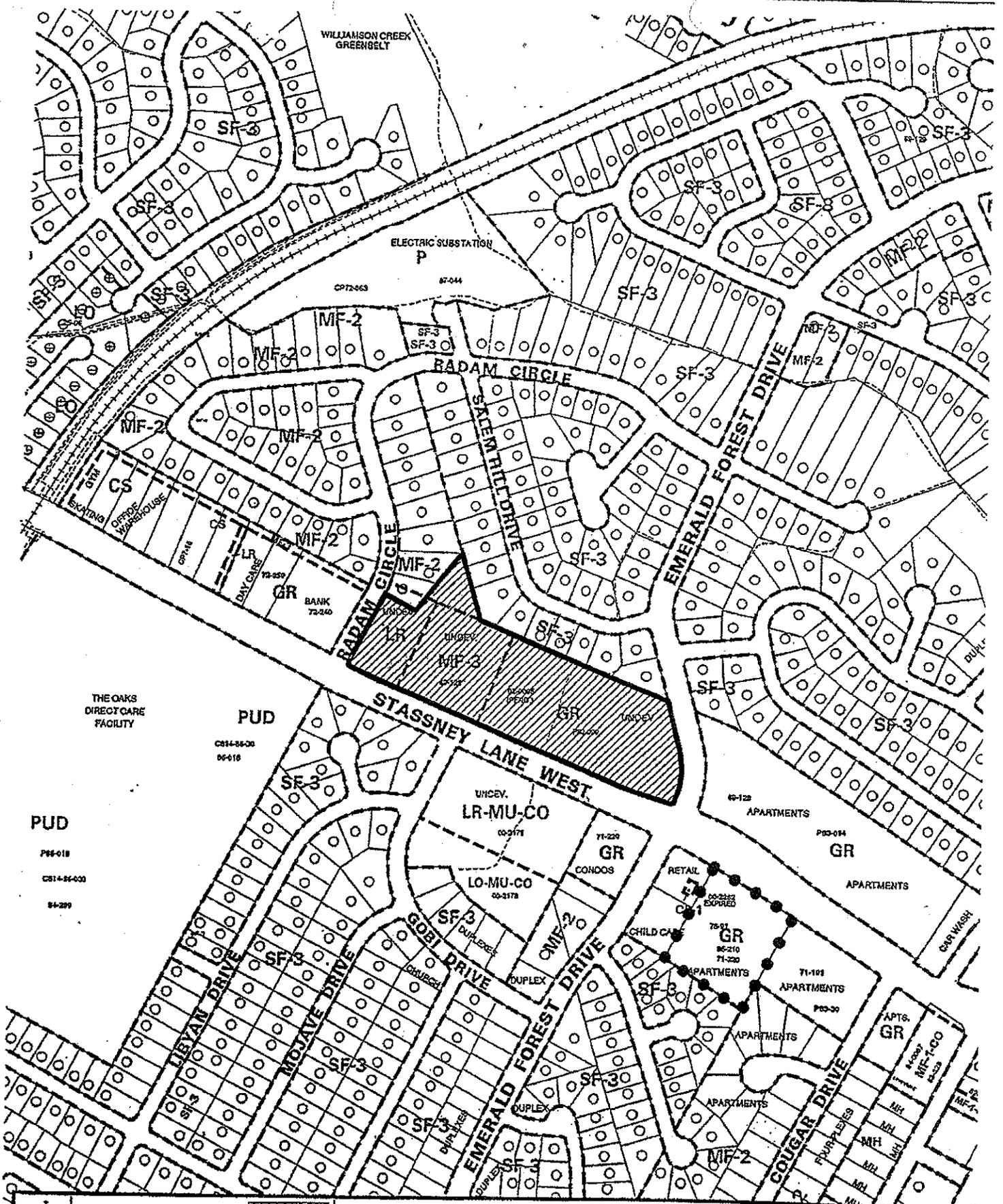
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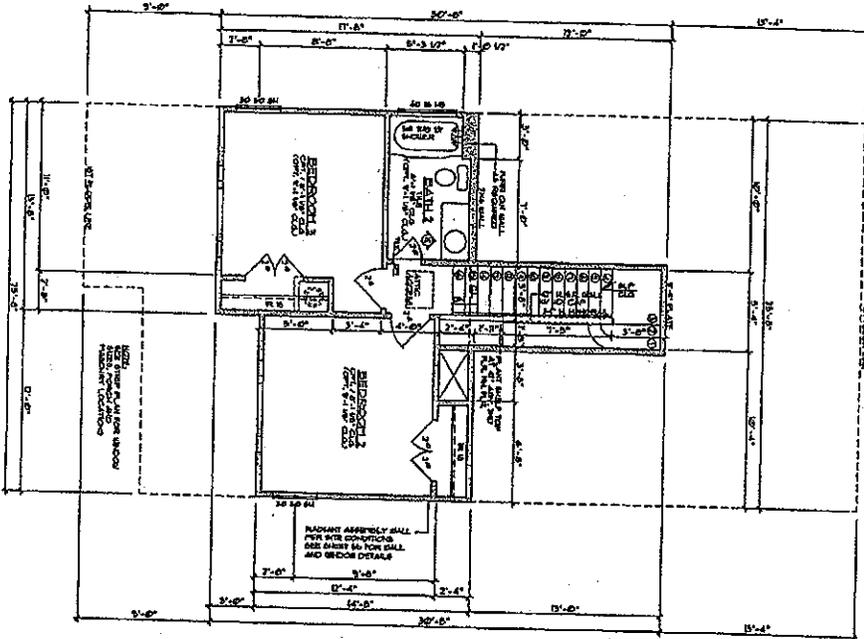
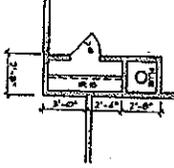


 1" = 400'	SUBJECT TRACT 	ZONING EXHIBIT A		CITY GRID REFERENCE NUMBER G17
	PENDING CASE 			
	ZONING BOUNDARY 	CASE #: C14-02-0005		
	CASE MGR: W. WALSH	ADDRESS: 1100 W STASSNEY LANE	DATE: 02-01	
		SUBJECT AREA (acres): 8.195		INTLS: SM

CONSTRUCTION

PLAN TYPE 1471

BEDROOM 3 CLOSET
W/OPT. HIBET. AGE
KIDNEY



SECOND LEVEL FLOOR PLAN
 NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 3'0" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 6'0" WIDE UNLESS NOTED OTHERWISE.
 5. ALL FLOORS ARE 4" THICK UNLESS NOTED OTHERWISE.
 6. ALL CEILING ARE 8'0" HIGH UNLESS NOTED OTHERWISE.
 7. ALL ROOF ARE 12" THICK UNLESS NOTED OTHERWISE.
 8. ALL FOUNDATION ARE 18" THICK UNLESS NOTED OTHERWISE.
 9. ALL STRUCTURAL ELEMENTS ARE TO BE CONCRETE UNLESS NOTED OTHERWISE.
 10. ALL MECHANICAL AND ELECTRICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 11. ALL MATERIALS AND METHODS OF CONSTRUCTION ARE TO BE APPROVED BY THE ARCHITECT.
 12. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 13. ALL COSTS ARE TO BE INCLUDED IN THE BIDDING PROCESS.
 14. ALL CHANGES ARE TO BE APPROVED BY THE ARCHITECT IN WRITING.
 15. ALL CONTRACTORS ARE TO BE LICENSED AND BONDED.
 16. ALL PERMITS ARE TO BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
 17. ALL UTILITIES ARE TO BE LOCATED AND MARKED PRIOR TO EXCAVATION.
 18. ALL NEIGHBORHOODS ARE TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.
 19. ALL TRAFFIC IS TO BE MAINTAINED AT ALL TIMES.
 20. ALL SAFETY PRECAUTIONS ARE TO BE TAKEN AT ALL TIMES.
 21. ALL WASTE IS TO BE PROPERLY DISPOSED.
 22. ALL MATERIALS ARE TO BE STORED PROPERLY.
 23. ALL WORK IS TO BE COMPLETED TO THE SATISFACTION OF THE ARCHITECT.
 24. ALL AS-BUILT DRAWINGS ARE TO BE SUBMITTED WITHIN 30 DAYS OF COMPLETION.
 25. ALL WARRANTIES ARE TO BE MAINTAINED FOR THE FULL TERM OF THE WARRANTY PERIOD.
 26. ALL DEFECTS ARE TO BE REPAIRED WITHIN THE SPECIFIED TIME FRAME.
 27. ALL COSTS OF REPAIRS ARE TO BE INCLUDED IN THE BIDDING PROCESS.
 28. ALL CONTRACTORS ARE TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 29. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 30. ALL CHANGES ARE TO BE APPROVED BY THE ARCHITECT IN WRITING.

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	10/15/00	ISSUED FOR PERMITTING	JK
2	11/15/00	ISSUED FOR BIDDING	JK
3	12/15/00	ISSUED FOR CONSTRUCTION	JK
4	01/15/01	ISSUED FOR AS-BUILT	JK

PLAN 1471 LF

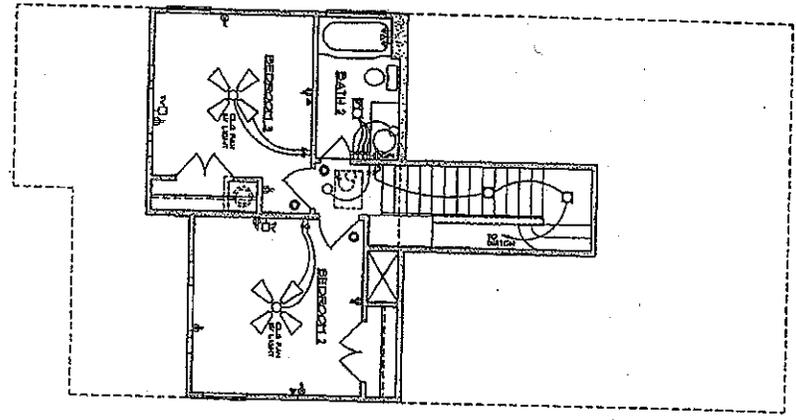
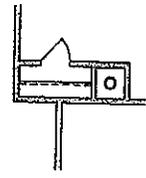
KIPP + FLORES ARCHITECTS
 12726 Jayhawk Pk., Suite 100, Austin, Texas 78758
 Tel: (512) 335-0477 Fax: (512) 335-0882

We warrant to the satisfaction of the client and hereby to the satisfaction of the client, all drawings and specifications are prepared by us or under our direct supervision and to the best of our knowledge and belief they conform to the requirements of the client and to the best of our knowledge and belief they conform to the requirements of the client and to the best of our knowledge and belief they conform to the requirements of the client.

GRASON COMMUNITIES, LTD.

Sheet 2 of 10
 6/13/00

BEDROOM 3 CLOSET
W/ OPEN LINEN CAGE
MATERIALS ONLY



SECOND LEVEL ELECTRICAL PLAN

NOTES:
1. ALL WORK TO BE IN ACCORDANCE WITH THE 2011 NATIONAL ELECTRICAL CODE (NEC) AND THE 2011 NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
2. ALL WORK TO BE IN ACCORDANCE WITH THE 2011 INTERNATIONAL RESIDENTIAL WIRE-BONDING AND GROUNDING PRACTICES (IRWG) AND THE 2011 INTERNATIONAL RESIDENTIAL ELECTRICAL PANEL SCHEDULING (IREPS) CODE.
3. ALL WORK TO BE IN ACCORDANCE WITH THE 2011 INTERNATIONAL RESIDENTIAL ELECTRICAL PANEL SCHEDULING (IREPS) CODE.
4. ALL WORK TO BE IN ACCORDANCE WITH THE 2011 INTERNATIONAL RESIDENTIAL ELECTRICAL PANEL SCHEDULING (IREPS) CODE.
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10. ALL WORK TO BE IN ACCORDANCE WITH THE 2011 INTERNATIONAL RESIDENTIAL ELECTRICAL PANEL SCHEDULING (IREPS) CODE.

REVISIONS:
1. REVISION 1: 5/18/20
2. REVISION 2: 5/18/20
3. REVISION 3: 5/18/20
4. REVISION 4: 5/18/20
5. REVISION 5: 5/18/20
6. REVISION 6: 5/18/20
7. REVISION 7: 5/18/20
8. REVISION 8: 5/18/20
9. REVISION 9: 5/18/20
10. REVISION 10: 5/18/20

ELECTRICAL LEGEND

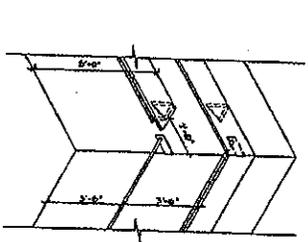
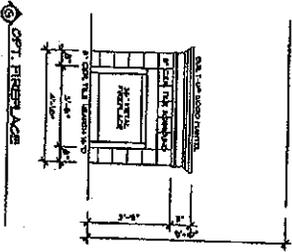
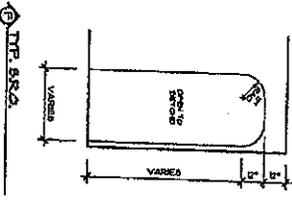
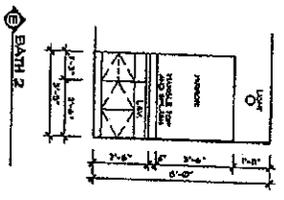
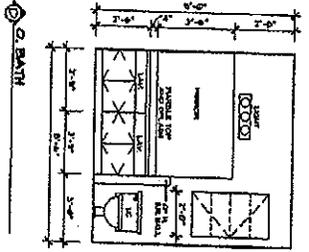
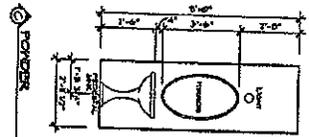
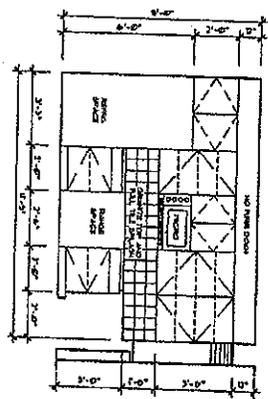
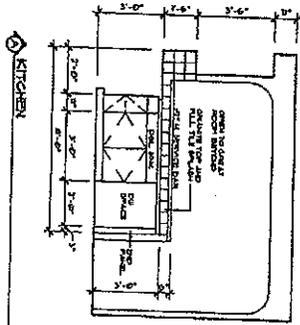
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11770 Jodyville Pk. Suite 100 Austin, Texas 78738
Tel: (512) 838-6000 Fax: (512) 838-6000
www.kiffa.com

In addition to contract scope and details in construction contract, all drawings shall be subject to the terms and conditions of the contract documents. All drawings shall be subject to the terms and conditions of the contract documents. All drawings shall be subject to the terms and conditions of the contract documents.

GRASON COMMUNITIES, LTD.

4 of 10
Sheet
5/18/20



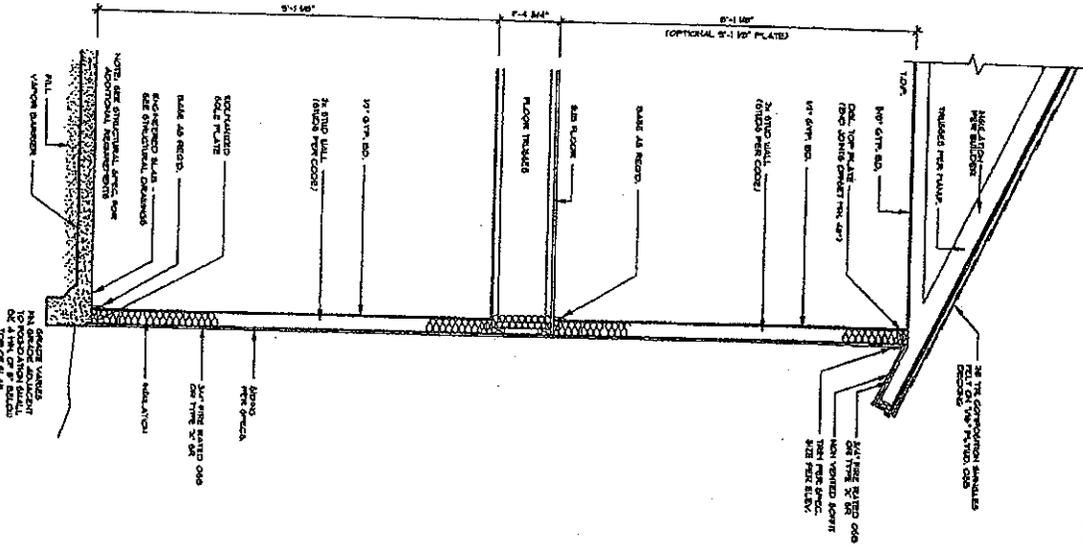
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 THIS DETAIL IS A GENERAL INDICATION OF THE
 LOCATION OF THE BOOKSHELF AND THE
 TELEVISION AND FIREPLACE. THE
 EXACT LOCATION AND SIZE OF THE
 BOOKSHELF SHALL BE DETERMINED BY THE
 ARCHITECT AND THE CLIENT.

KIPP FLORES ARCHITECTS
 60121 828-6477 Fax 60121 800-8602
 11776 ACCORDE BLVD. SUITE 100 ANDREWS, TAMPA 33620

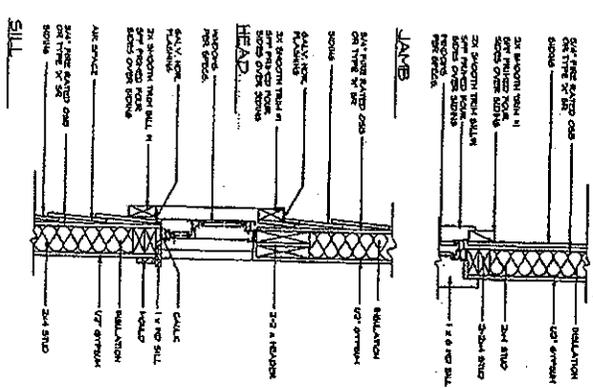
For by purchase in construction methods and details to construction methods, all drawings and documents are approved and may not be used for any other project. All drawings are the property of Kipp Flores Architects and shall remain the property of Kipp Flores Architects. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Kipp Flores Architects.

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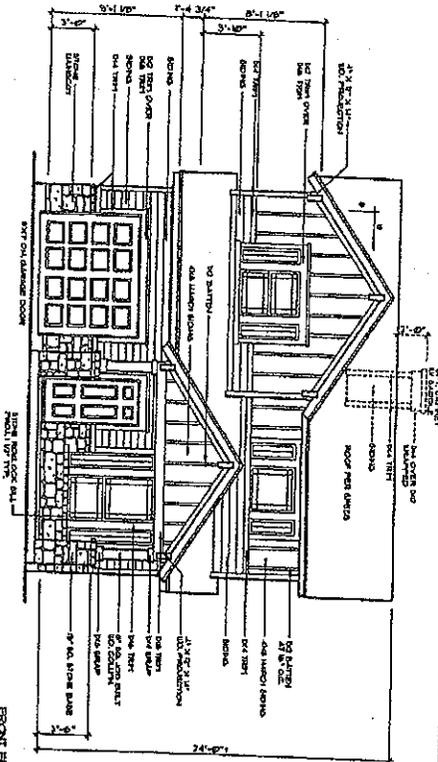
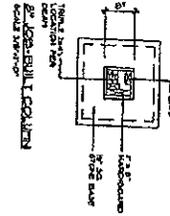
GRASON COMMUNITIES, LTD.
 11776 ACCORDE BLVD. SUITE 100 ANDREWS, TAMPA 33620
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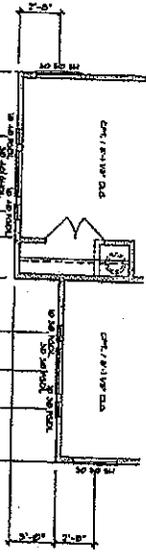
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 2 STORY EXTERIOR WALL SECTION W/ SIDING
 SCALE 3/8" = 1'-0"
 REFER TO PLANS & SCHEDULE FOR NOTES



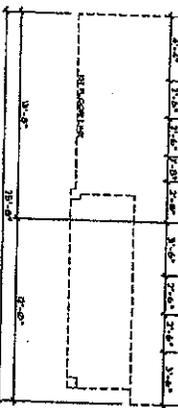
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 EXTERIOR WINDOW DETAIL W/ SIDING
 SCALE 3/8" = 1'-0"



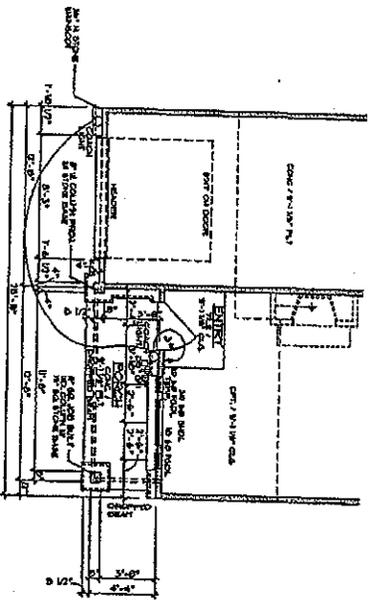
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION



FIRST LEVEL FLOOR PLAN

TABLE OF WINDOW SCHEDULE

NO.	TYPE	FINISH	GLASS	GLASS AREA (SQ. FT.)	FRAME AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)	PERCENTAGE OF TOTAL WINDOW AREA
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TABLE OF WINDOW SCHEDULE

NO.	TYPE	FINISH	GLASS	GLASS AREA (SQ. FT.)	FRAME AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)	PERCENTAGE OF TOTAL WINDOW AREA
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TABLE OF WINDOW SCHEDULE

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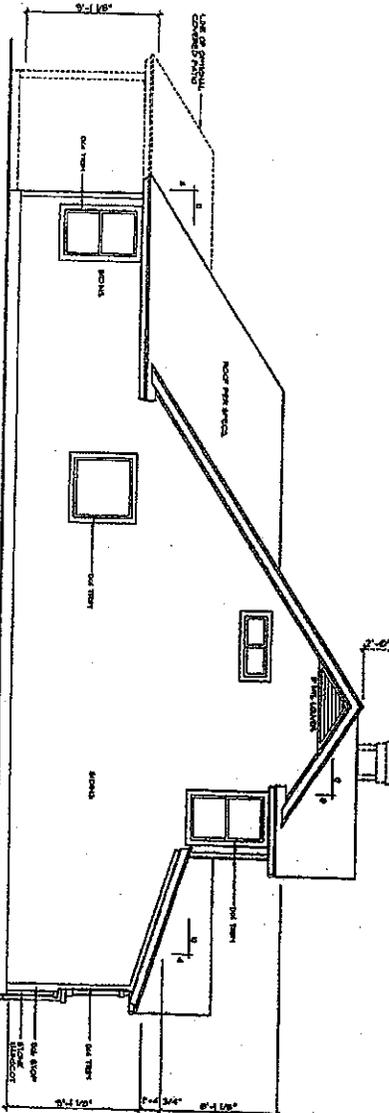
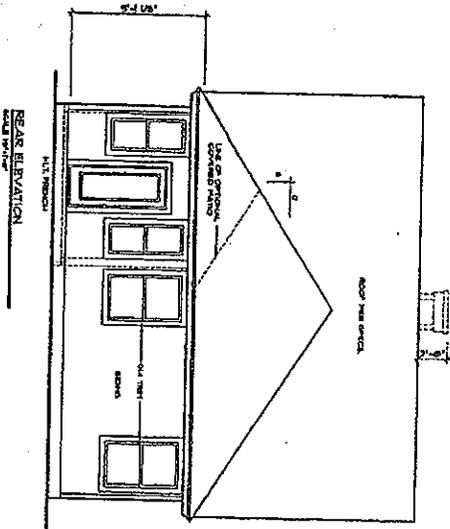
GLAZING PERCENTAGE

AREA OF GLAZING	PERCENTAGE
AREA OF GLAZING	17%
GLAZING PERCENTAGE	17%

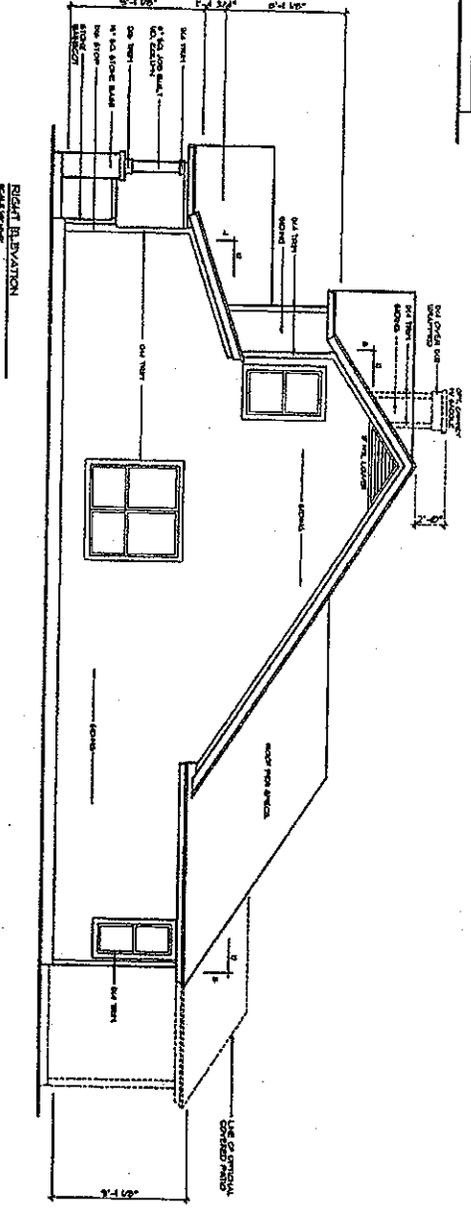
KIPP FLORES ARCHITECTS
 11770 KENNEDY BLVD. SUITE 100 ALHAMBRA, CALIF. 91803
 (626) 286-0477 FAX (626) 286-0477
 6/13/02

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LEFT ELEVATION
 NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES ARE TO BE DETERMINED BY THE CLIENT.
 3. THIS DRAWING IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.
 4. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.
 5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHER PROFESSIONALS.



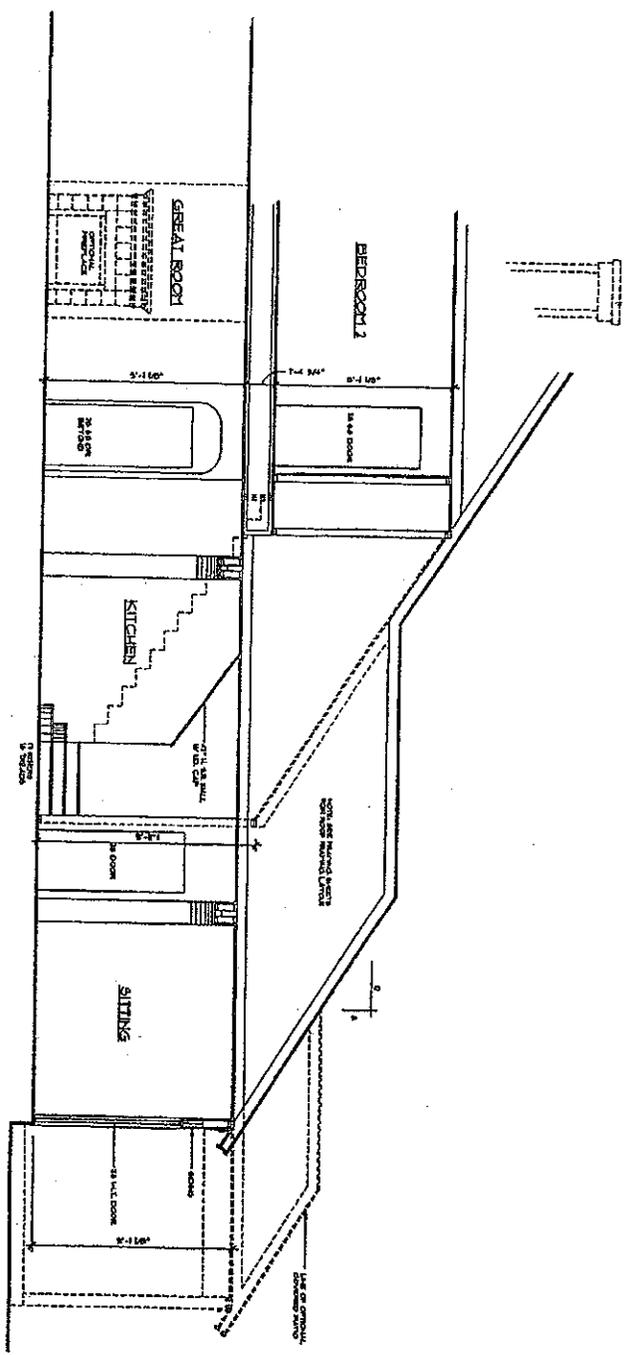
PLAN 1471 LPA

KIPP FLORES ARCHITECTS
 5/18/08
 11179 Jollyville Rd., Suite 100, Austin, Texas 78750

See to confirm to construction methods and details in production contract, all drawings and details are approved and may vary per plan. All drawings are prepared by the architect and are subject to change without notice. All drawings are subject to the provisions of the contract documents and specifications.

GRASON COMMUNITIES, LTD.

CROSS SECTION
 SECTION 1-1
 1. DO NOT SCALE FROM DIMENSIONS, BUT FROM DIMENSIONS.
 2. ALL DIMENSIONS ARE IN FEET AND INCHES.
 3. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.



PLAN 1471 LP

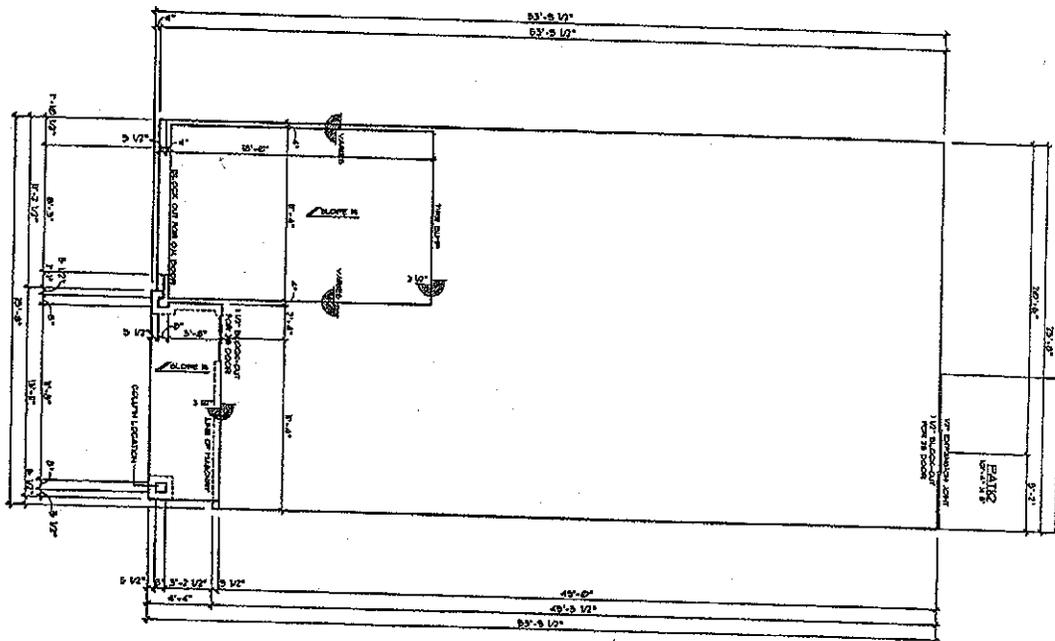
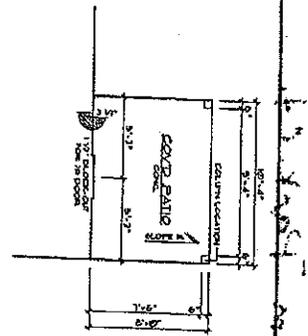
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 11770 JOYNER RD. SUITE 100 AUSTIN, TEXAS 78758

It is advised to consult with a professional engineer or architect to determine the feasibility of construction and to obtain the necessary permits. The architect is not responsible for the construction of the building. The architect is not responsible for the construction of the building. The architect is not responsible for the construction of the building.

GRASON COMMUNITIES, LTD.

Sheet
 9 of 10
 5/13/09

CENTRAL COVERED PATIO



RESUBMITTAL PLAN
 THIS PLAN IS A RESUBMITTAL TO THE ORIGINAL PLAN AND IS SUBJECT TO THE SAME CONDITIONS AND REQUIREMENTS AS THE ORIGINAL PLAN.
 ALL DIMENSIONS ARE IN FEET AND INCHES.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

607/2700
 Street

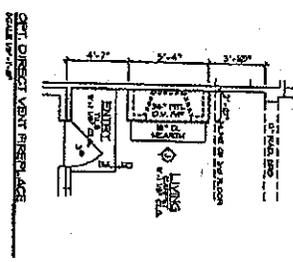
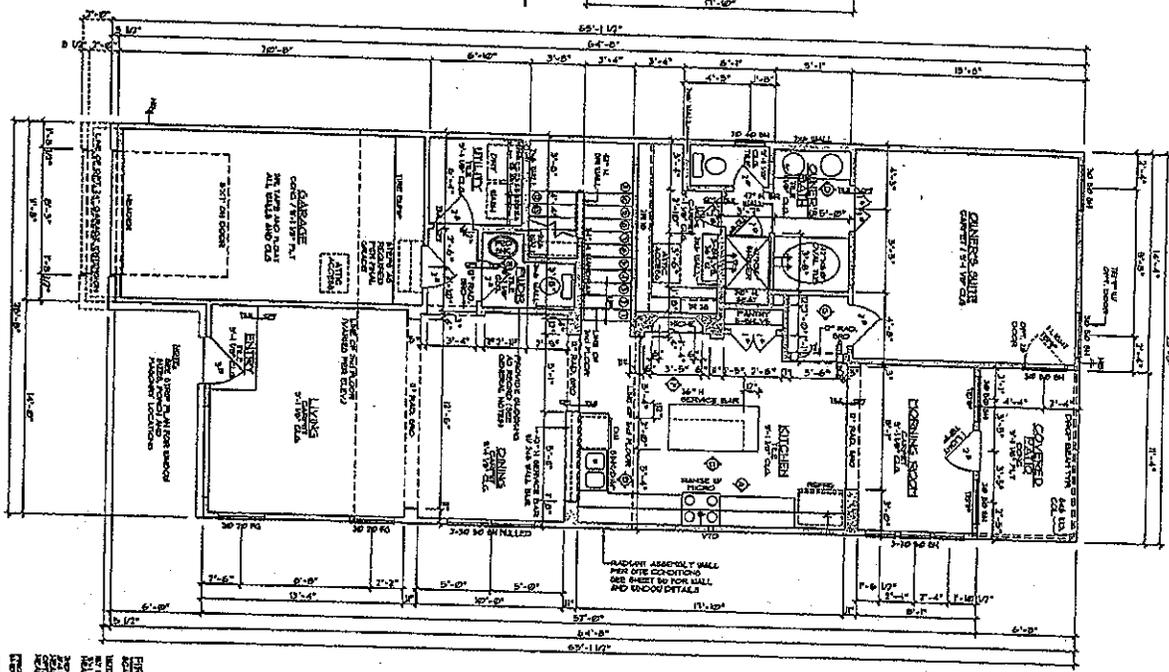
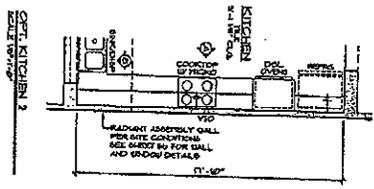
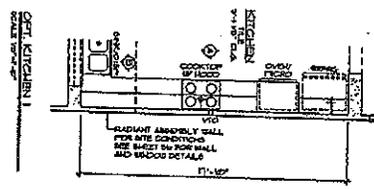
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 11776 Jollyville Rd., Suite 100 Austin, Texas 78750
 Tel: 512 325-6477 Fax: 512 325-0882
 www.kippflores.com

Due to weather conditions, we have had to make some changes to the construction schedule. We are sorry for any inconvenience this may cause. We will do our best to complete the project as soon as possible. We appreciate your patience and understanding.

GRASON COMMUNITIES, LTD.

CONSTRUCTION

PLAN TYPE 1706



FIRST LEVEL FLOOR PLAN
SCALE 1/4" = 1'-0"

NOTES:
1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. SEE SPECIFICATIONS FOR MATERIALS AND METHODS OF CONSTRUCTION.
4. ALL WORK TO BE ACCORDING TO THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
5. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ACCESS TO ALL AREAS TO BE CONSTRUCTED.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNERS' PERMISSIONS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNERS' PERMISSIONS.

Square Footage Chart
Elevation 1'

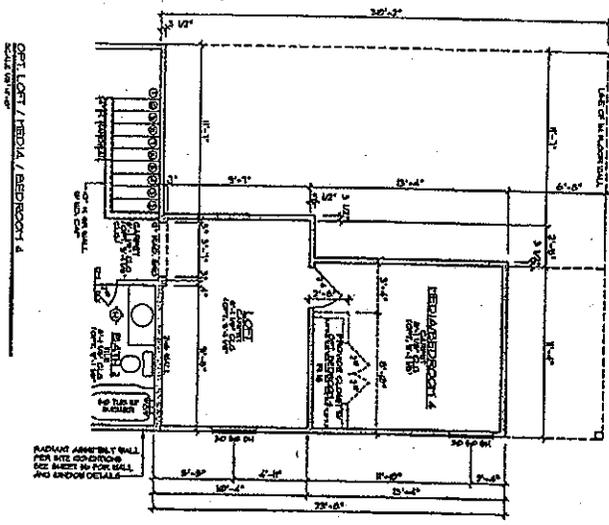
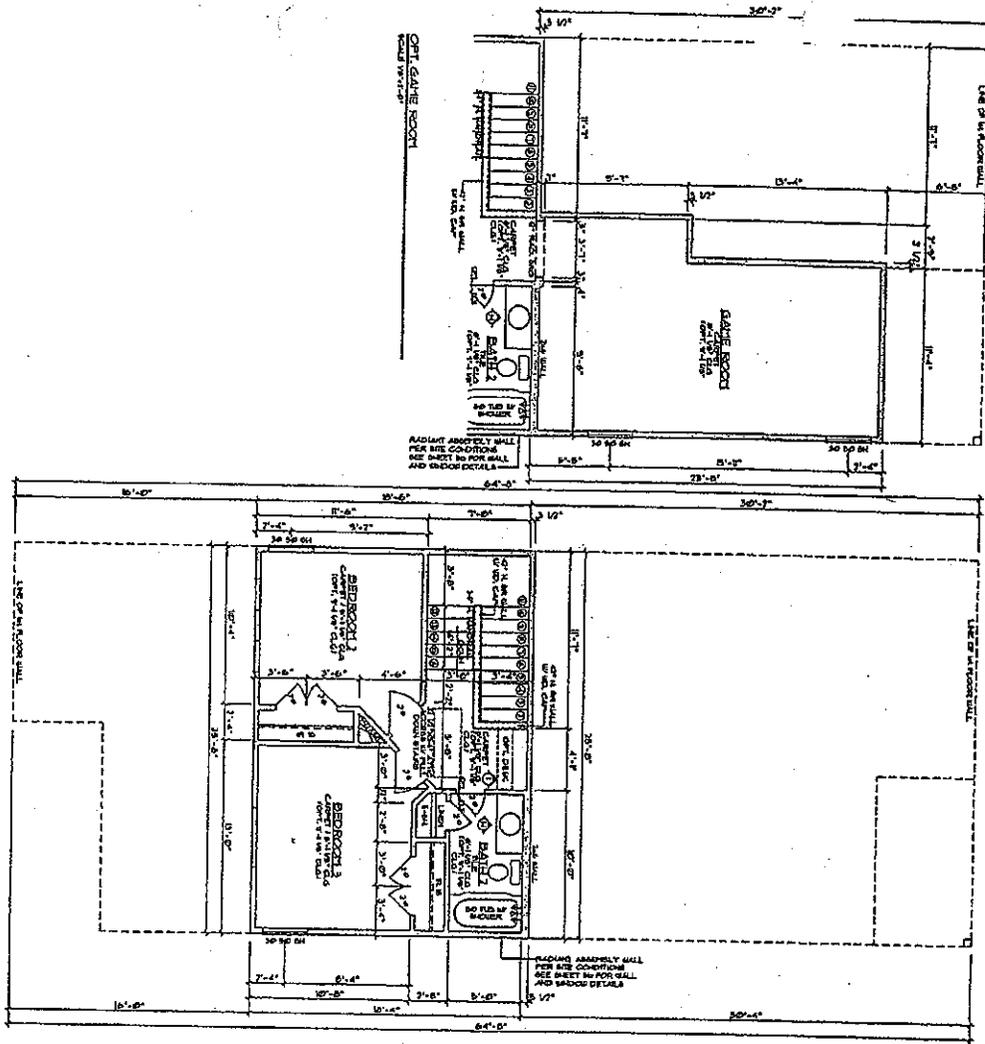
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1ST FLOOR	524	074
2ND FLOOR	1527	418
TOTAL LIVING	2051	492
CONTRACT	2051	492
CONTRACT	2051	492
TOTAL	2051	492
COVERED EXT.	43	04
TOTAL	2094	496

Square Footage Chart
Elevation 1'

AREA	AREA	W/STAIRS
1ST FLOOR	524	074
2ND FLOOR	1527	418
TOTAL LIVING	2051	492
CONTRACT	2051	492
CONTRACT	2051	492
TOTAL	2051	492
COVERED EXT.	43	04
TOTAL	2094	496

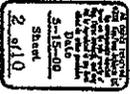
PERMITTED TO BE USED FOR THE PROJECT ONLY
NO OTHER USES ARE PERMITTED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
2	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
3	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
4	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
5	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
6	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
7	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
8	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
9	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.
10	11-11-08	ISSUED FOR PERMITS	J.F.	J.F.



SECOND LEVEL FLOOR PLAN

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.
 3. ALL DOORS ARE 36" WIDE UNLESS NOTED OTHERWISE.
 4. ALL WINDOWS ARE 60" WIDE UNLESS NOTED OTHERWISE.
 5. ALL FLOOR FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 6. ALL CEILING FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 7. ALL LIGHT FIXTURES ARE TO BE DETERMINED BY THE ARCHITECT.
 8. ALL MECHANICAL EQUIPMENT IS TO BE LOCATED AS SHOWN ON THIS PLAN.
 9. ALL ELECTRICAL EQUIPMENT IS TO BE LOCATED AS SHOWN ON THIS PLAN.
 10. ALL PLUMBING EQUIPMENT IS TO BE LOCATED AS SHOWN ON THIS PLAN.
 11. ALL FINISHES ARE TO BE DETERMINED BY THE ARCHITECT.
 12. ALL MATERIALS ARE TO BE APPROVED BY THE ARCHITECT.
 13. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.
 14. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.
 15. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA).
 16. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND PLUMBING EXAMINERS ASSOCIATION (IMPEA) CODE.
 17. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CROWNERS (IAC) CODE.
 18. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF BRICKLAYERS (IAB) CODE.
 19. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF CARPENTERS AND JOINERS (IACJ) CODE.
 20. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PLUMBERS AND PIPEFITTERS (IAPP) CODE.
 21. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF ROOFERS (IAR) CODE.
 22. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF SHINGERS (IAS) CODE.
 23. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF TILE AND TERRAZZO (IAT) CODE.
 24. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WOODWORKERS (IAW) CODE.
 25. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF PAINTERS AND DECORATORS (IAPD) CODE.
 26. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF STAINLESS STEEL WORKERS (IASW) CODE.
 27. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF TINSNAILERS (IATN) CODE.
 28. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDERS (IAW) CODE.
 29. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING ENGINEERS (IAWE) CODE.
 30. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING INSPECTORS (IAWI) CODE.
 31. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING SUPERVISORS (IAWS) CODE.
 32. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING TECHNICIANS (IAWT) CODE.
 33. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING TRAINERS (IAWTN) CODE.
 34. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING EDUCATORS (IAWE) CODE.
 35. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING RESEARCHERS (IAWR) CODE.
 36. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING SCIENTISTS (IAWS) CODE.
 37. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING ENGINEERS AND SCIENTISTS (IAWES) CODE.
 38. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING ENGINEERS AND SCIENTISTS (IAWES) CODE.
 39. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ASSOCIATION OF WELDING ENGINEERS AND SCIENTISTS (IAWES) CODE.
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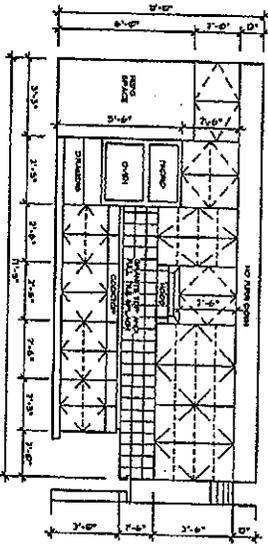
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 11778 Jollyville Pk., Suite 100 Austin, Texas 78758
 Tel: (512) 335-5477 Fax: (512) 335-4488
 www.kippflores.com

We warrant our construction services and drawings to meet the needs of our clients. Our drawings are prepared by our staff and are subject to the accuracy of the information provided to us. We warrant that our drawings are prepared in accordance with the applicable laws and regulations. We warrant that our drawings are prepared in accordance with the applicable laws and regulations. We warrant that our drawings are prepared in accordance with the applicable laws and regulations.

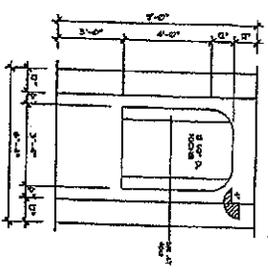
GRASON COMMUNITIES, LTD.

CABINET ELEVATIONS

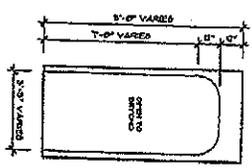
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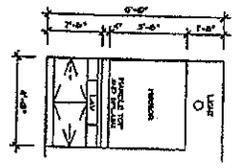
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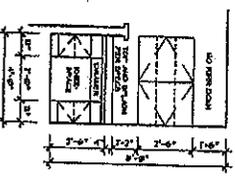
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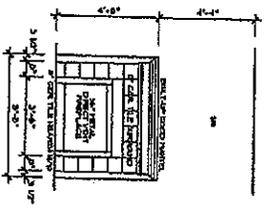
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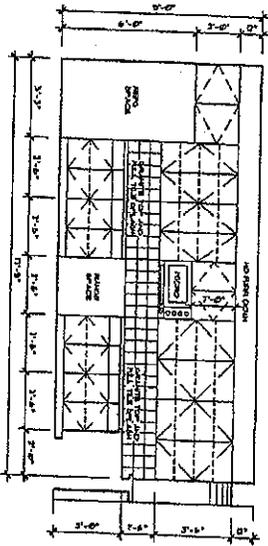
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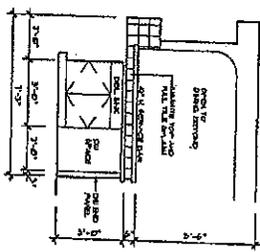
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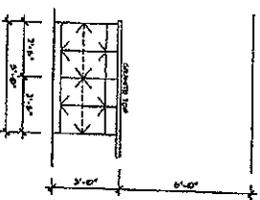
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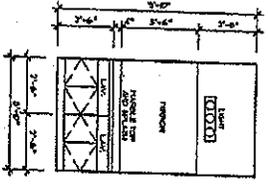
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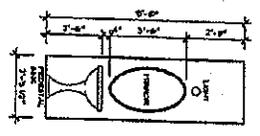
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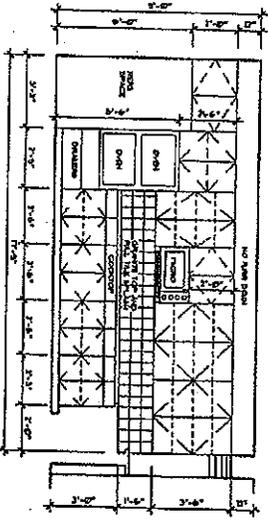
OWNER'S BATH



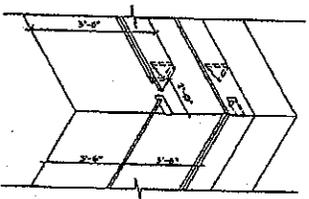
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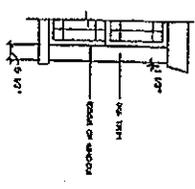
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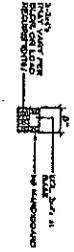
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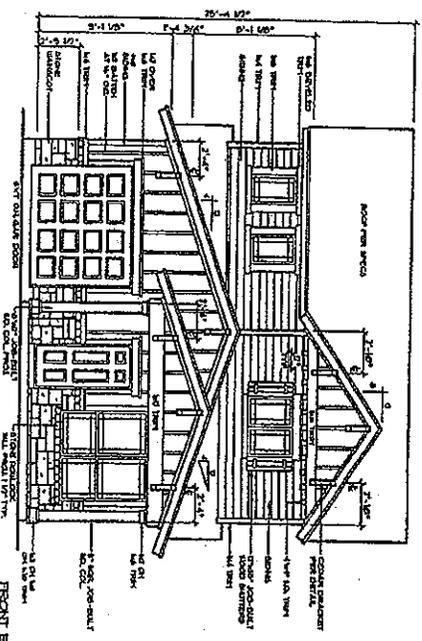
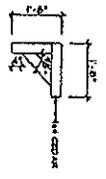
WINDOW TRIM DETAIL



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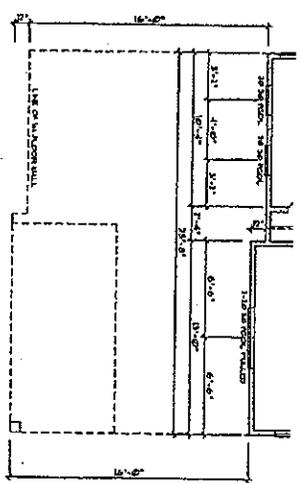


CEDAR BRACKET

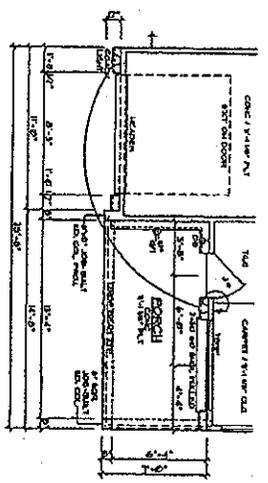


FRONT ELEVATION

NOTES:
 1. ALL WINDOW AND DOOR TRIM TO BE 1/2\"/>



SECOND LEVEL STRIP PLAN



FIRST LEVEL STRIP PLAN

GLAZING SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	AREA (SQ FT)	PERCENTAGE
1	1 1/2\"/>				
2	2\"/>				
3	3\"/>				
4	4\"/>				
5	5\"/>				
6	6\"/>				
7	7\"/>				
8	8\"/>				
9	9\"/>				
10	10\"/>				
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45	45\"/>				
46	46\"/>				
47	47\"/>				
48	48\"/>				
49	49\"/>				
50	50\"/>				

GLAZING SCHEDULE

NO.	DESCRIPTION	QTY	UNIT	AREA (SQ FT)	PERCENTAGE
1	1 1/2\"/>				
2	2\"/>				
3	3\"/>				
4	4\"/>				
5	5\"/>				
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46	46\"/>				
47	47\"/>				
48	48\"/>				
49	49\"/>				
50	50\"/>				

GLAZING SCHEDULE

FLOOR	NO.	DESCRIPTION	QTY	UNIT	AREA (SQ FT)	PERCENTAGE
1st	1	1 1/2\"/>				
	2	2\"/>				
	3	3\"/>				
	4	4\"/>				
	5	5\"/>				
	6	6\"/>				
	7	7\"/>				
	8	8\"/>				
	9	9\"/>				
	10	10\"/>				
2nd	11	1 1/2\"/>				
	12	2\"/>				
	13	3\"/>				
	14	4\"/>				
	15	5\"/>				
	16	6\"/>				
	17	7\"/>				
	18	8\"/>				
	19	9\"/>				
	20	10\"/>				
TOTAL						

GLAZING PERCENTAGE

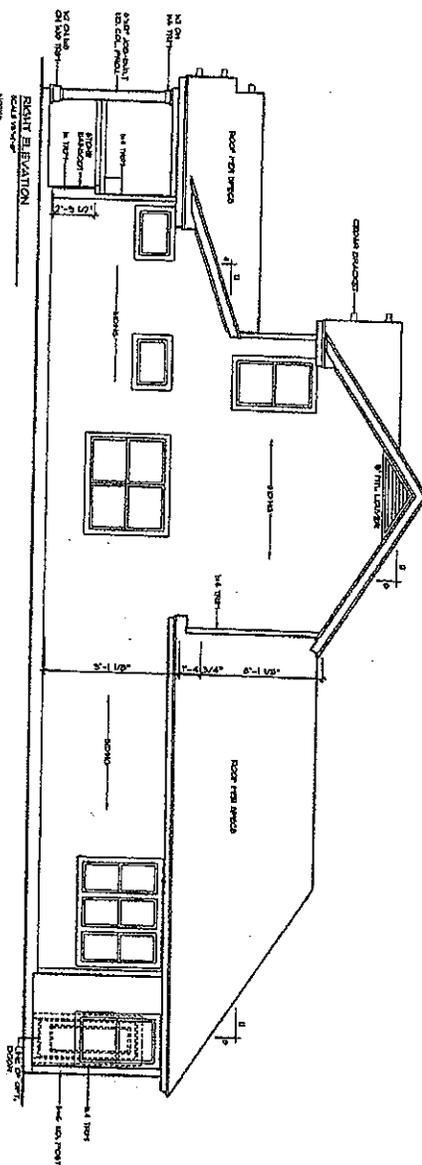
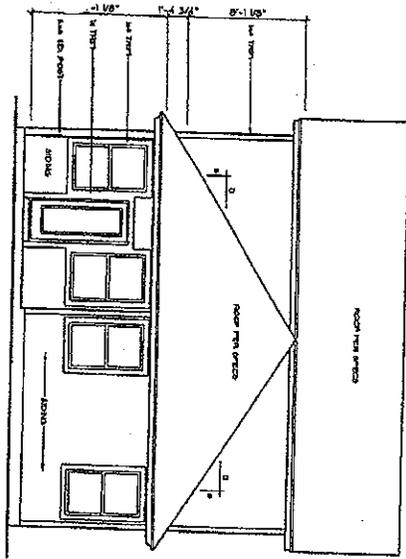
AREA OF GLAZING	PERCENTAGE
1st FLOOR	33%
2nd FLOOR	33%
TOTAL	66%

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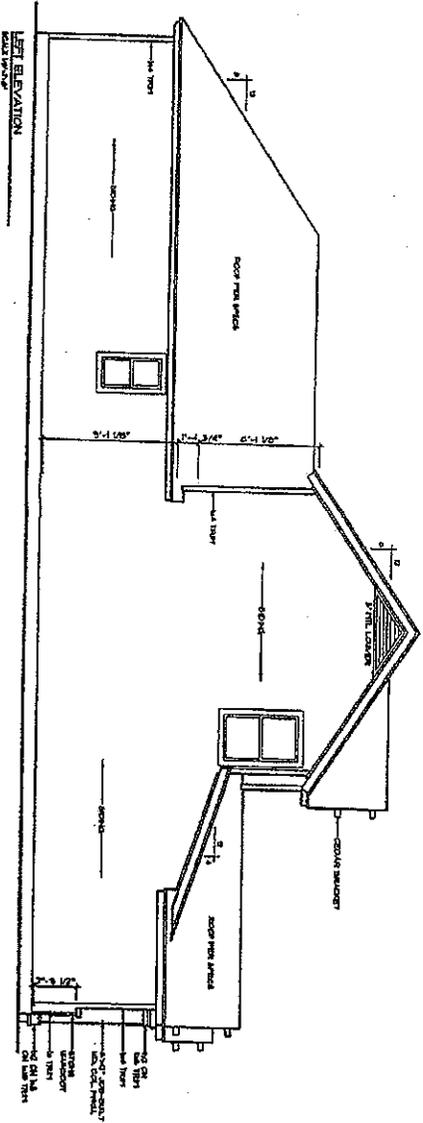
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PLAN 1706 LEA

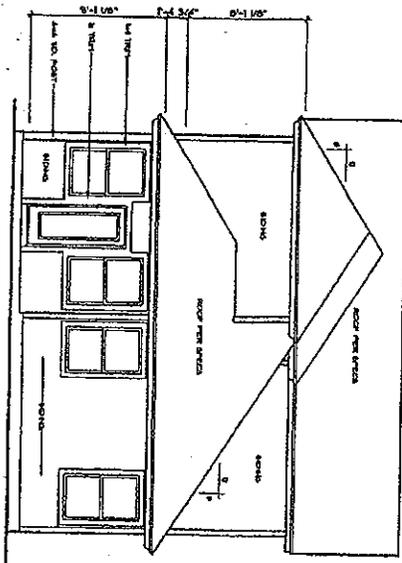
05/04/09 1706 LEA 05/04/09

KIPP + FLORES ARCHITECTS
 1706 LEA (1706) 0504-0002
 11776 Ashby Rd. Suite 100 Austin, Texas 78750
 512-452-1111

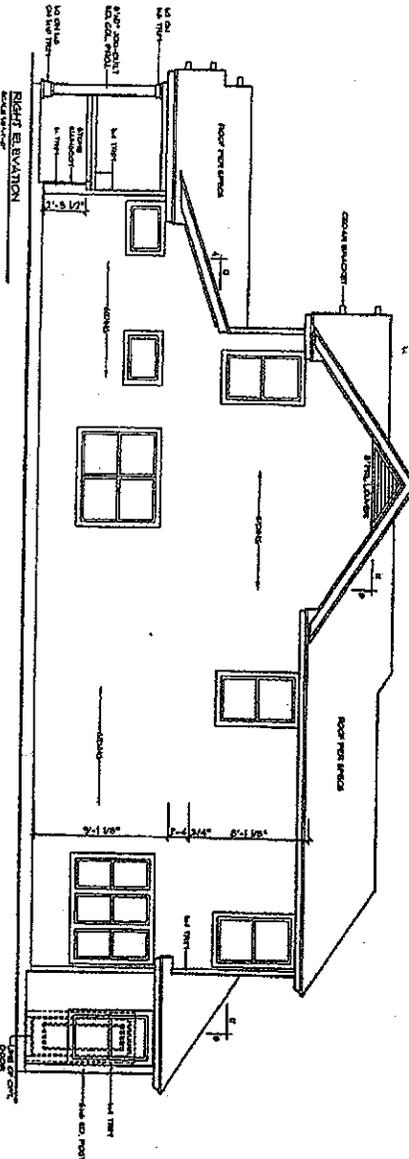
70% COMPLETE
 DATE: 05-10-09
 SHEET: 7A-010

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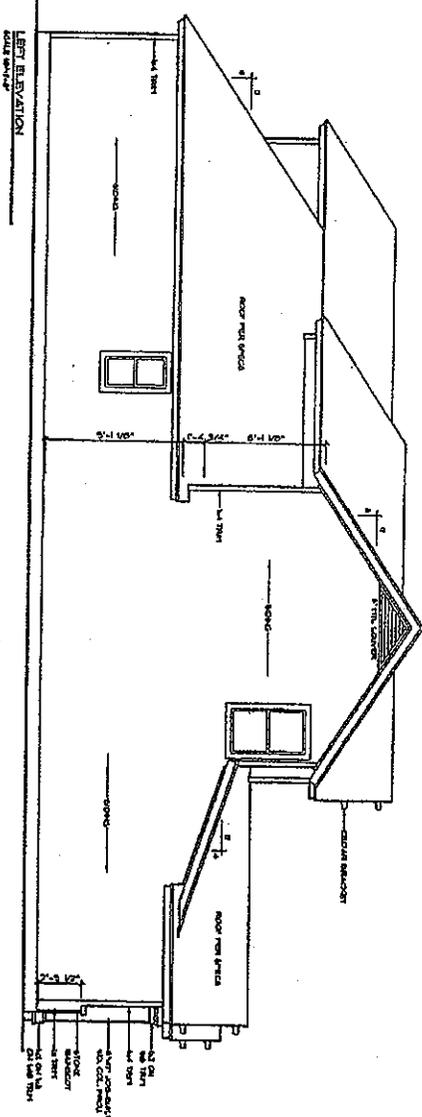


REAR ELEVATION



RIGHT ELEVATION

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
 3. ALL ROOFING IS TO BE AS SHOWN ON THE ROOFING SCHEDULE.
 4. ALL WINDOWS AND DOORS ARE TO BE AS SHOWN ON THE SCHEDULES.
 5. ALL ELECTRICAL AND PLUMBING ARE TO BE AS SHOWN ON THE SCHEDULES.
 6. ALL MATERIALS ARE TO BE AS SHOWN ON THE SCHEDULES.
 7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE 2000 INTERNATIONAL RESIDENTIAL CODE BOOK.



LEFT ELEVATION

OPT. LOFT AREA/
 BEDROOM & GAME ROOM
 PLAN 1706 LFK

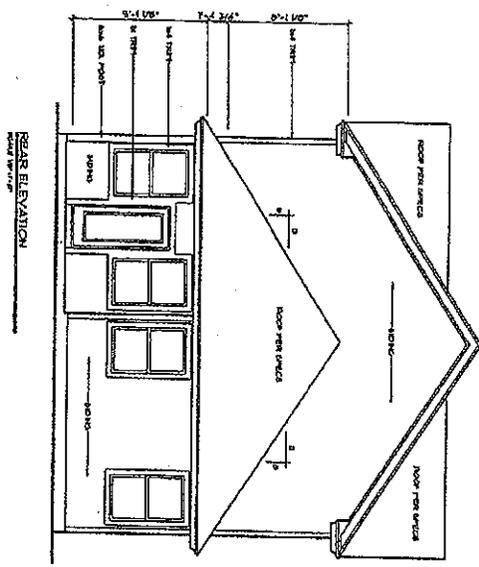
CPAL-0055-221-CPT 2ND FLOORING 03/04/06

5-15-06
 Sheet
 7A of 10

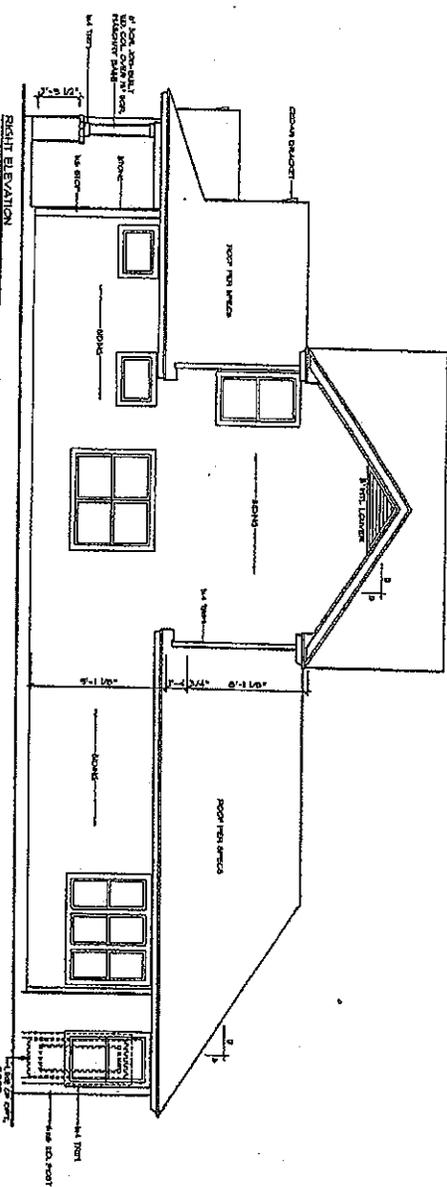
KIPP*FLORES ARCHITECTS
 4 (512) 836-6477 Fax (512) 338-5688
 11776 Jollyville Rd., Suite 100 Austin, Texas 78758

See to schedule to coordinate architect and client to coordinate schedule, of drawings, and materials for construction and any other work. All other work shall be completed in accordance with the schedule, including all work. There is no charge for work in this plan to be done in the representation. All other work shall be done in accordance with the schedule.

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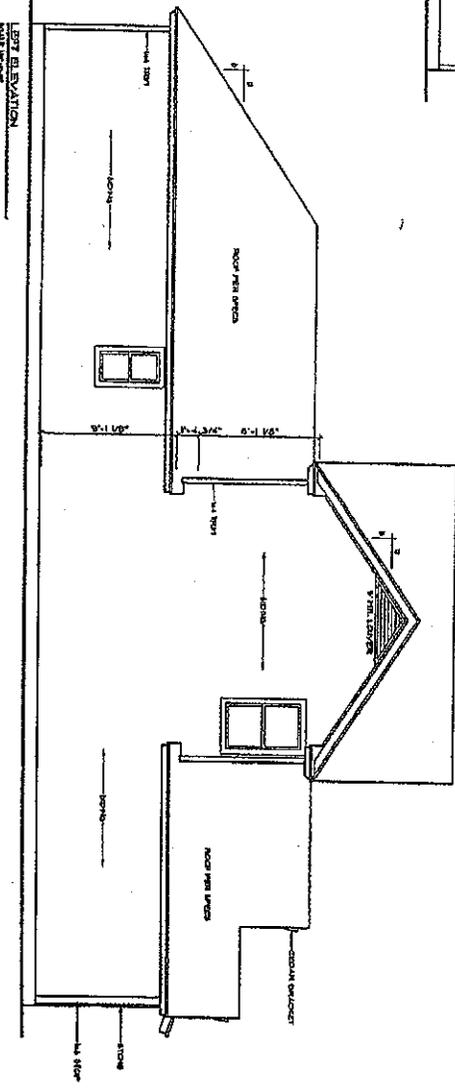


REAR ELEVATION



RIGHT ELEVATION

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISHES ARE TO BE AS SHOWN ON SHEET 1706-02.
 3. ALL WORK IS TO BE ACCORDING TO THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK AND THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE.
 4. PROVIDE WITH LISTS AND SCHEDULES ALL MATERIALS AND FINISHES TO BE USED.
 5. PROVIDE WITH LISTS AND SCHEDULES ALL LIGHT FIXTURES AND ELECTRICAL SYMBOLS TO BE USED.



LEFT ELEVATION

PLAN 1706 LFB

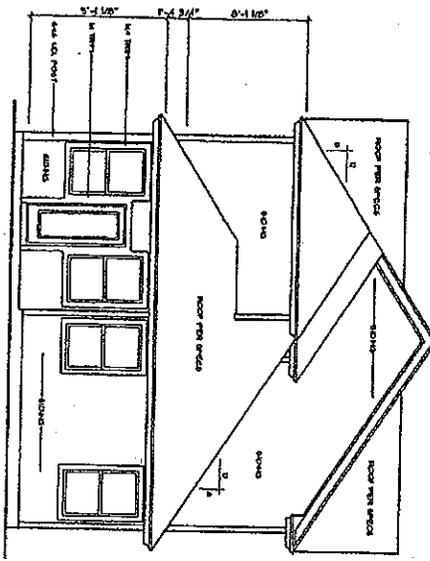
0000-000-000.000 02/04/02

7/26/10
 Sheet 1
 5-18-02

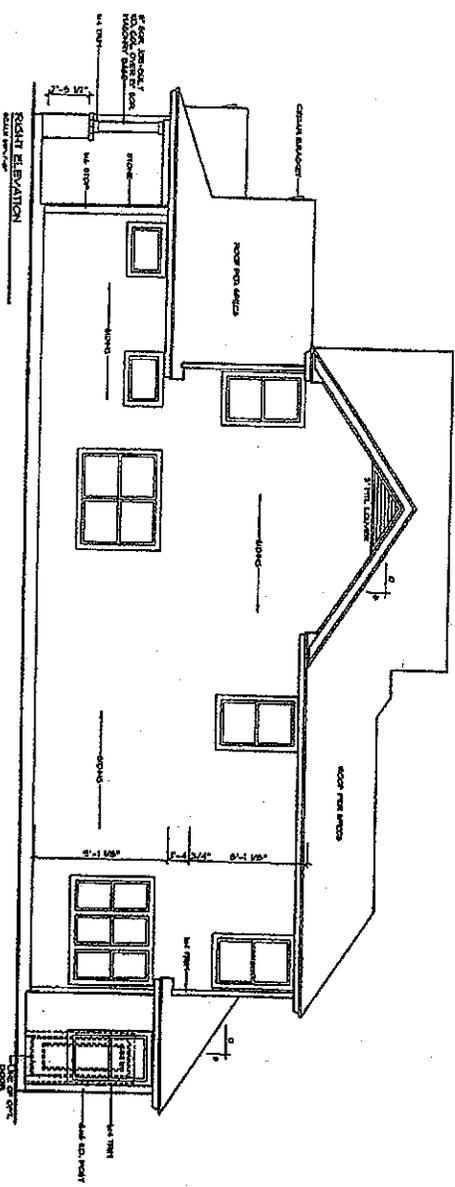
KIPP FLORES ARCHITECTS
 11776 Jollyville Rd., Suite 100 Austin, Texas 78758
 Tel: (512) 336-6477 Fax: (512) 336-6882

See to confirm the material, color and finish to be used in the construction of this project. The architect is not responsible for the accuracy of the information provided by the client. The client is responsible for the accuracy of the information provided by the client. The client is responsible for the accuracy of the information provided by the client.

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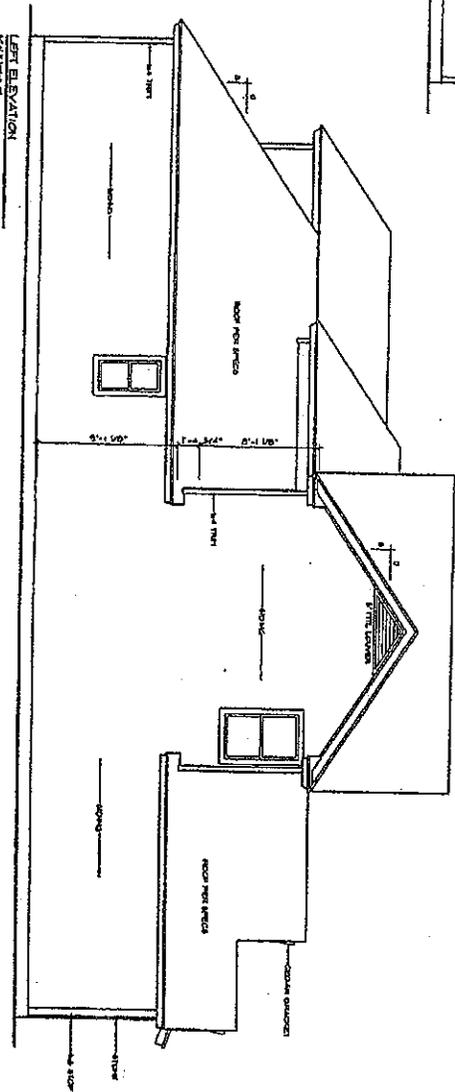


REAR ELEVATION



RIGHT ELEVATION

NOTES:
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE AS SHOWN ON THE PLAN.
 3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
 4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.



LEFT ELEVATION

OPT. LOFT/MECH/ROOM
 BEDROOM / GARAGE / LB
 PLAN 1706 LTB

0244-000-101-01 2ND FLOOR.DWG 05/24/09

KIPP*FLORES ARCHITECTS
 0512 256-0477 Fax (512) 255-8882
 11776 Jollyville Pk. Suite 100 Austin, Texas 78750

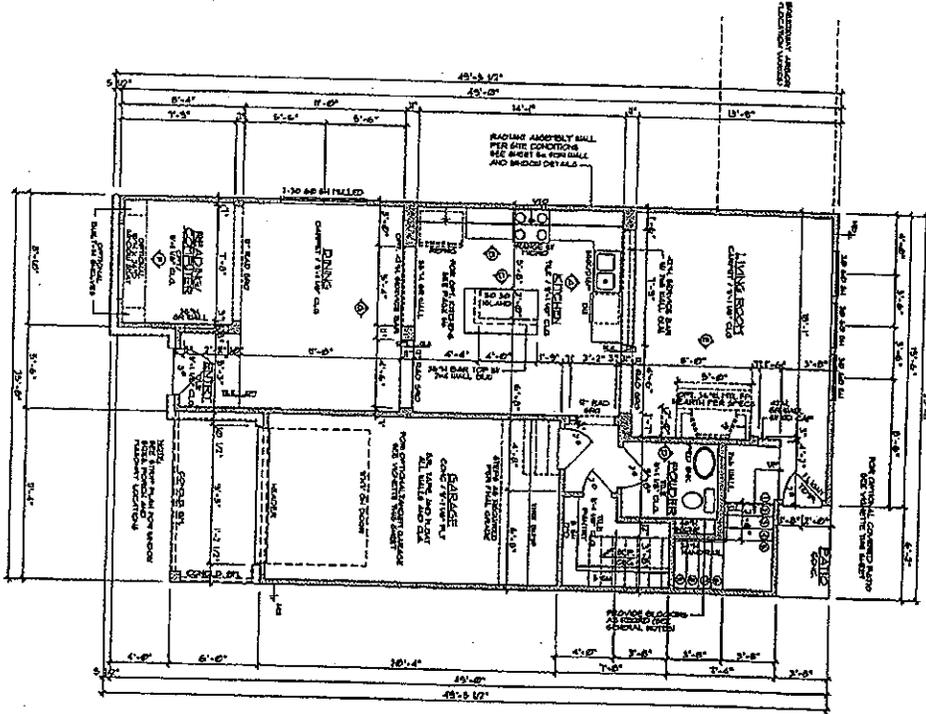
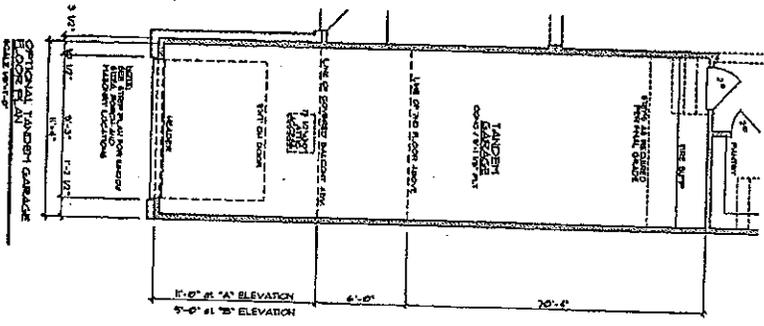
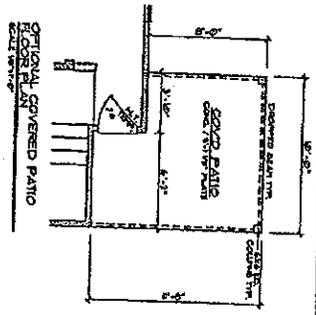
For the architect to contract for services, and develop the construction documents, of drawings and specifications, and to supervise the construction, the client shall be responsible for providing plans in accordance with the local laws. Check any change or work to these plans by letter or in person. Make certain all liability for material and workmanship.

GRASON COMMUNITIES, LTD.

78.4 1.0
 15-10-00
 8/04/01

CONSTRUCTION

PLAN TYPE 1930



FIRST LEVEL FLOOR PLAN

NOTES:

1. ALL WALLS TO BE 1/2" THICK UNLESS NOTED OTHERWISE.
2. ALL FLOORS TO BE 4" CONCRETE ON 8" GRAVEL UNLESS NOTED OTHERWISE.
3. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
4. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
5. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
6. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
7. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
8. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
9. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.
10. ALL ROOFING TO BE 2" POLYSTYRENE INSULATION ON 2" GYP BOARD UNLESS NOTED OTHERWISE.

'A' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	388	388
Garage	300	300
Basement	200	200
Pool	100	100
Deck	50	50
Other	50	50
TOTAL	1472	1472

'B' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	388	388
Garage	300	300
Basement	200	200
Pool	100	100
Deck	50	50
Other	50	50
TOTAL	1472	1472

'C' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	388	388
Garage	300	300
Basement	200	200
Pool	100	100
Deck	50	50
Other	50	50
TOTAL	1472	1472

'D' Square Footage Chart

Room	Area	Volume
1st Floor	444	444
2nd Floor	388	388
Garage	300	300
Basement	200	200
Pool	100	100
Deck	50	50
Other	50	50
TOTAL	1472	1472

PERMITS AND REGULATIONS

Item	Requirement	Notes
Building	City of [Location]	Permit # [Number]
Electrical	City of [Location]	Permit # [Number]
Plumbing	City of [Location]	Permit # [Number]
Mechanical	City of [Location]	Permit # [Number]
Fire	City of [Location]	Permit # [Number]
Health	City of [Location]	Permit # [Number]
Environmental	City of [Location]	Permit # [Number]
Other	City of [Location]	Permit # [Number]

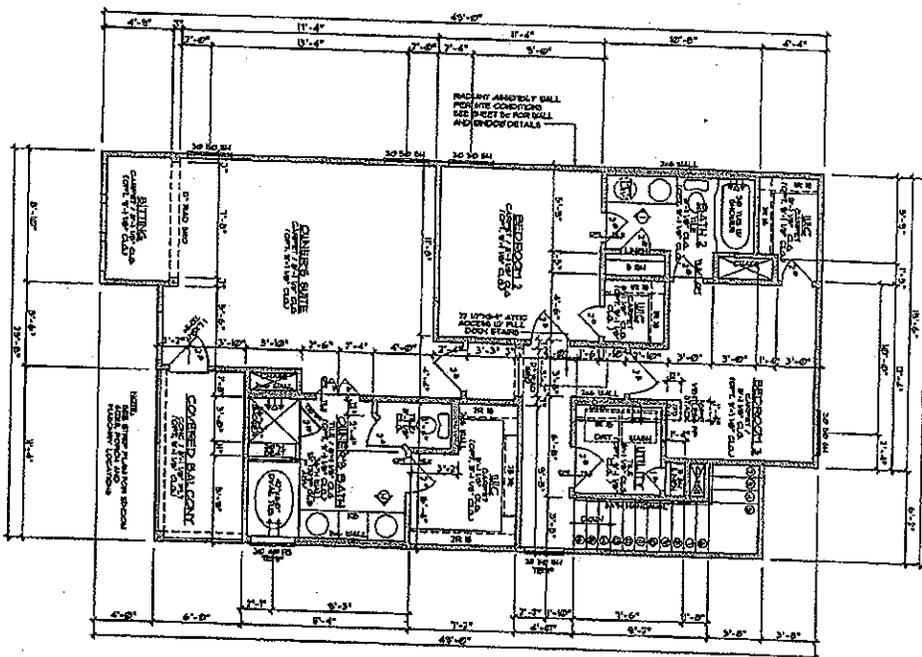
REVISED 02-01-01 BY ARCHITECTS FLORES AND FLORES
 DRAWN 02-01-01 BY ARCHITECTS FLORES AND FLORES
 CHECKED 02-01-01 BY ARCHITECTS FLORES AND FLORES
 APPROVED 02-01-01 BY ARCHITECTS FLORES AND FLORES

DIAN FORN D2

KIPP FLORES ARCHITECTS
 17776 Julyville Rd., Suite 104 Aurora, Illinois 60018
 (708) 485-0477 • (708) 485-0888
 Fax: (708) 485-0888

We warrant to produce within the time specified, a set of drawings and specifications for the project described herein, and to defend and hold the client harmless from and against all claims, damages, and expenses, including reasonable attorney's fees, which may be asserted against the client by any third party as a result of our negligence in the performance of our professional services. This warranty shall not apply to any claims, damages, and expenses which may be asserted against the client by any third party as a result of the client's negligence in the performance of its professional services.

GRASON COMMUNITIES, LTD.



SECOND LEVEL FLOOR PLAN

NOTES:
 1. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN.
 2. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN.
 3. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN.
 4. ALL ROOMS SHALL BE FINISHED TO THE FINISHES SHOWN ON THIS PLAN.
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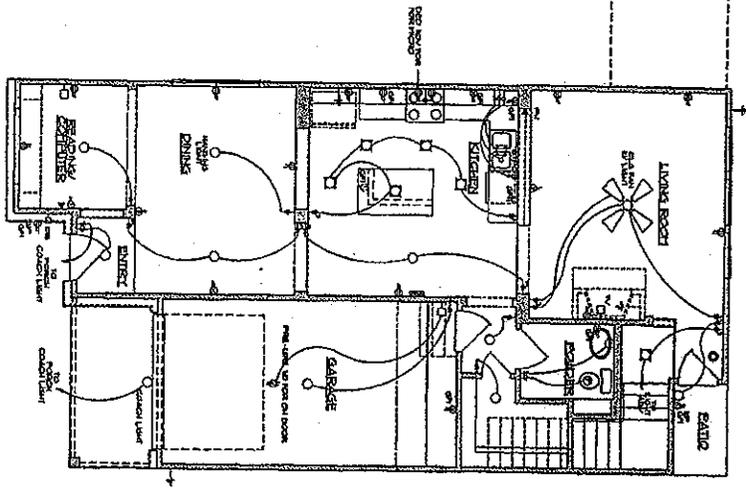
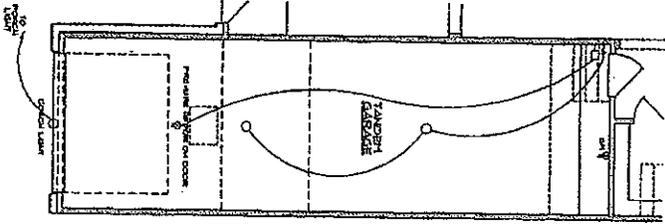
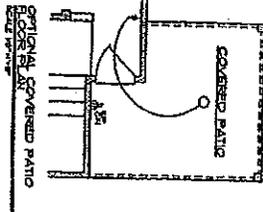
NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
2	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
3	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
4	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
5	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
6	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
7	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
8	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
9	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES
10	ISSUED FOR PERMITS	11/15/07	J. FLORES	J. FLORES

REVISED 08-04-08 ADDS FLOORING LINES IN KITCHEN (RUP)
 REVISED 08-04-08 UNIVERSAL (RUP)
 REVISED 08-04-08 1/2" BATH (RUP)

KIPP FLORES ARCHITECTS
 11770 Jodyville Pk. Suite 100 Austin, Texas 78758
 Tel: (512) 335-0477 Fax: (512) 335-0882

We warrant to construct within and comply to applicable codes, all drawings and specifications and any other documents. Kipp Flores Architects, Ltd. shall not be responsible for any errors or omissions on this plan. Shall we consent to make a copy plan by plan or to reproduce, make copies of this plan for general use or otherwise.

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FIRST LEVEL ELECTRICAL PLAN

NOTES

1. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

2. THE ELECTRICAL SYSTEM SHALL BE DESIGNED TO SERVE THE LOADS SHOWN ON THIS PLAN.

3. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

4. THE ELECTRICAL SYSTEM SHALL BE DESIGNED TO SERVE THE LOADS SHOWN ON THIS PLAN.

5. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.

ELECTRICAL LEGEND	
[Symbol]	120V OUTLET
[Symbol]	240V OUTLET
[Symbol]	120V/240V OUTLET
[Symbol]	20 AMP OUTLET
[Symbol]	30 AMP OUTLET
[Symbol]	40 AMP OUTLET
[Symbol]	50 AMP OUTLET
[Symbol]	60 AMP OUTLET
[Symbol]	75 AMP OUTLET
[Symbol]	100 AMP OUTLET
[Symbol]	125 AMP OUTLET
[Symbol]	150 AMP OUTLET
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[Symbol]	40000 AMP OUTLET
[Symbol]	45000 AMP OUTLET
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[Symbol]	80000 AMP OUTLET
[Symbol]	90000 AMP OUTLET
[Symbol]	100000 AMP OUTLET

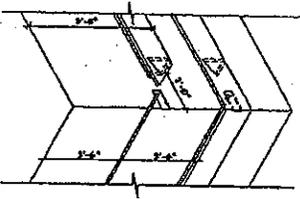
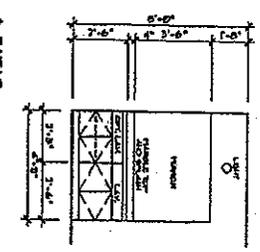
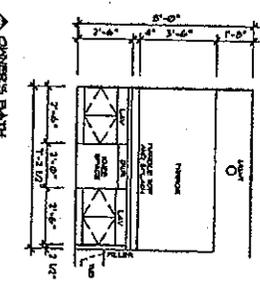
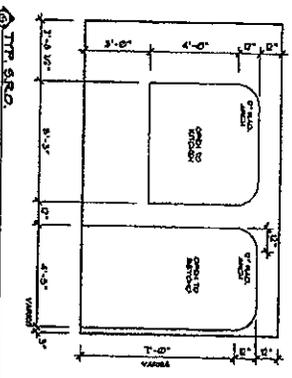
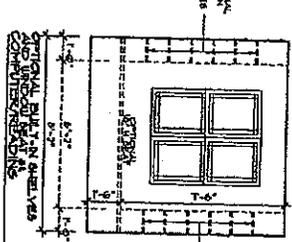
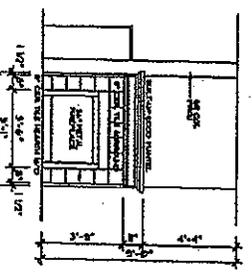
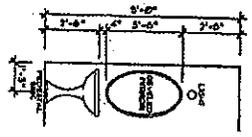
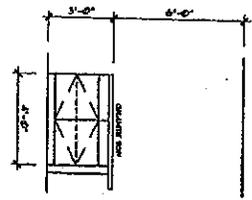
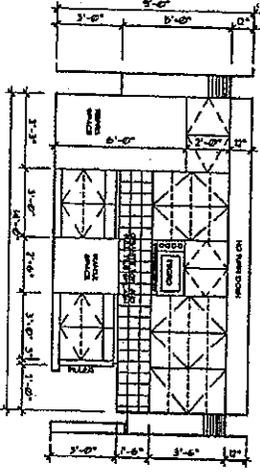
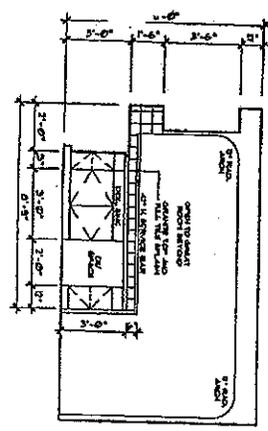
REVISED 02-10-00 TO ADD ACQUISITION PROGRAMS LINES IN ROOM 1000

3 of 11
Sheet

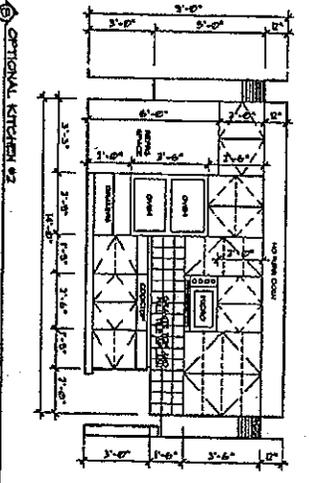
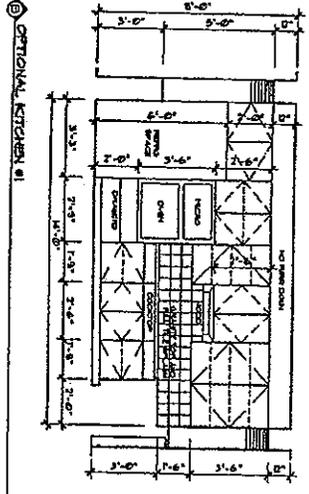
KIPP FLORES ARCHITECTS
 4 812 325-0477 Fax 812 325-0478
 11778 Jollyville Rd. Suite 102 Austin, Texas 78750

It is the policy of Kipp Flores Architects, P.C. to provide our services and our work on a non-exclusive basis. We accept no responsibility for the quality of the work of any subcontractor or supplier. We accept no liability for the work of any subcontractor or supplier. We accept no liability for the work of any subcontractor or supplier.

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14 BERRY CLOSET ROAD & SHELF DETAIL
 1/2" SCALE
 1/2" = 1'-0"

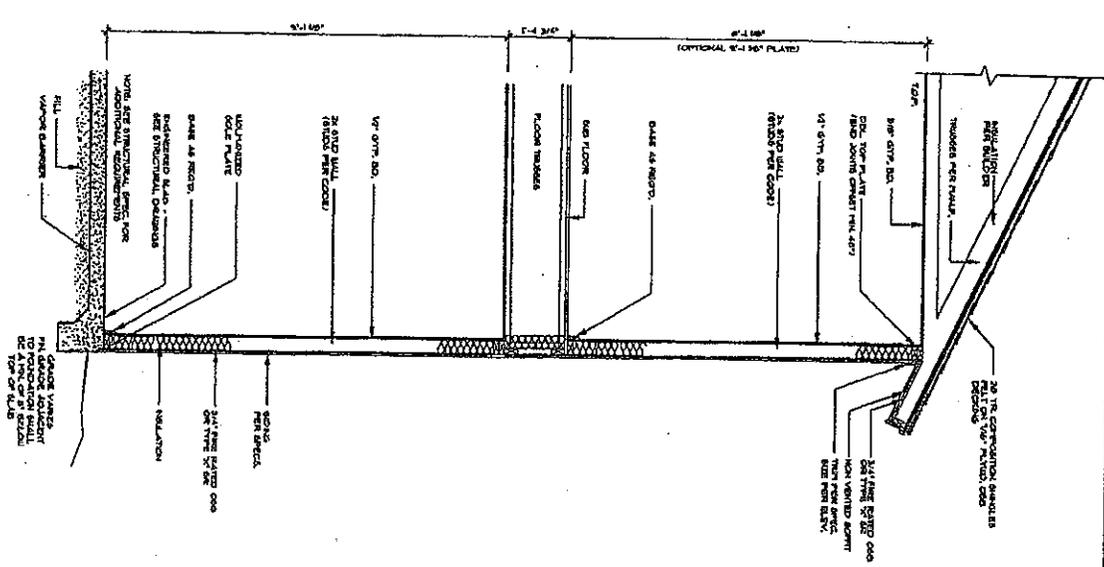


CABINET ELEVATIONS
 PLAN 1880 RP

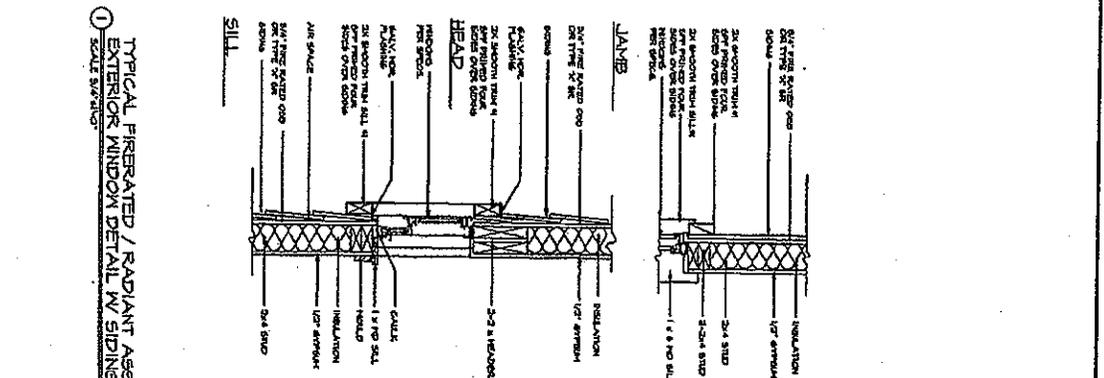
KIPP + FLORES ARCHITECTS
 11779 Jubilee Rd. Suite 100 Austin, Texas 78758
 Tel: (512) 850-5477 Fax: (512) 850-5862

See us online for contract details and family to purchase details of drawings and details are applicable and may vary per plan. Kipp Flores Architects is not responsible for actual construction details and materials. See our website for more information.

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TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SIDING
 SCALE 3/8" = 1'-0"
 REFER TO PLANS & ELEV. FOR ADDL. DETAILS

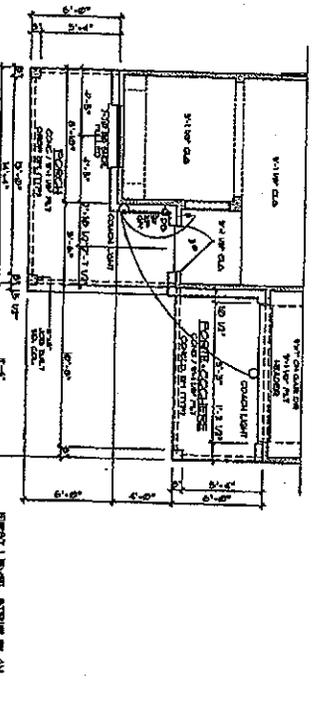
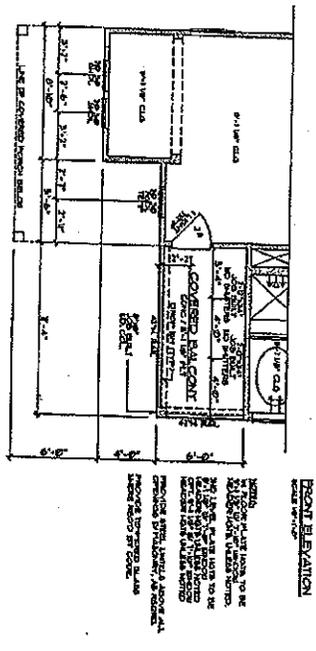
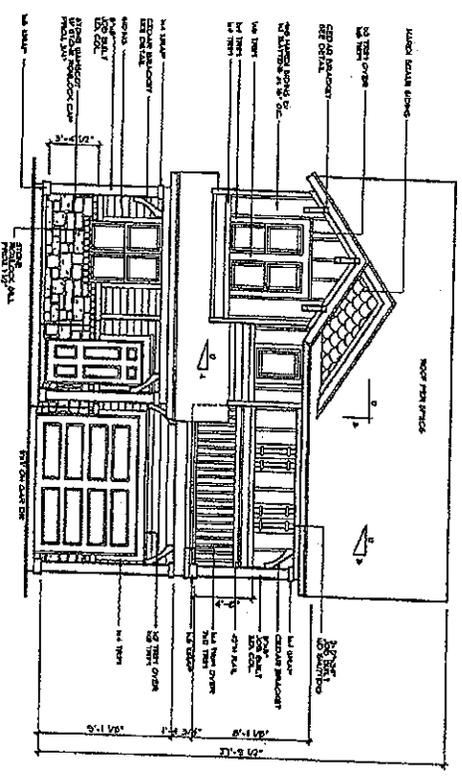
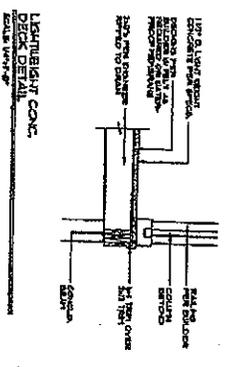
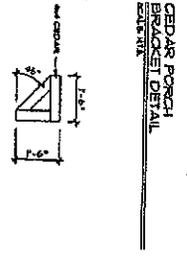
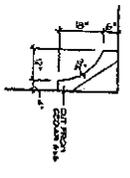
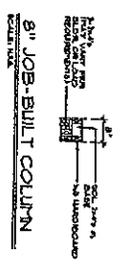


TYPICAL FIRE RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING
 SCALE 3/8" = 1'-0"

KIPP FLORES ARCHITECTS
 1177 1/2
 407-478-8888
 407-478-8888
 407-478-8888

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 407-478-8888
 407-478-8888

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 1177 1/2
 407-478-8888
 407-478-8888
 407-478-8888



NOTE: ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.

FLOOR	NO.	AREA (SQ. FT.)	PERCENTAGE (%)
1ST FLOOR	1	119	3.3%
2ND FLOOR	2	187	5.5%
3RD FLOOR	3	117	3.5%
4TH FLOOR	4	117	3.5%
5TH FLOOR	5	117	3.5%
6TH FLOOR	6	117	3.5%
7TH FLOOR	7	117	3.5%
8TH FLOOR	8	117	3.5%
9TH FLOOR	9	117	3.5%
10TH FLOOR	10	117	3.5%
11TH FLOOR	11	117	3.5%
12TH FLOOR	12	117	3.5%
13TH FLOOR	13	117	3.5%
14TH FLOOR	14	117	3.5%
15TH FLOOR	15	117	3.5%
16TH FLOOR	16	117	3.5%
17TH FLOOR	17	117	3.5%
18TH FLOOR	18	117	3.5%
19TH FLOOR	19	117	3.5%
20TH FLOOR	20	117	3.5%
TOTAL		2729	83.0%

GLAZING PERCENTAGE

AREA OF GLAZING	PERCENTAGE (%)
AREA OF GLAZING	2.8%
GLAZING PERCENTAGE	0.22%

NOTE: THESE FIGURES DO NOT INCLUDE ANY FLOOR GLAZING.

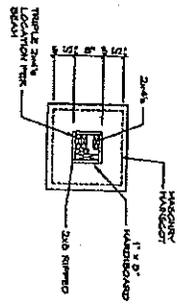
MASSONRY PERCENTAGE

FLOOR	NET GROSS WALL AREA	AREA OF GLAZING	AREA OF MASONRY	AREA OF DOORS	AREA OF FINISH	MASSONRY PERCENTAGE (%)
1ST FLOOR	119	103	16	0	119	3.3%
2ND FLOOR	187	167	20	0	187	5.5%
3RD FLOOR	117	101	16	0	117	3.5%
4TH FLOOR	117	101	16	0	117	3.5%
5TH FLOOR	117	101	16	0	117	3.5%
6TH FLOOR	117	101	16	0	117	3.5%
7TH FLOOR	117	101	16	0	117	3.5%
8TH FLOOR	117	101	16	0	117	3.5%
9TH FLOOR	117	101	16	0	117	3.5%
10TH FLOOR	117	101	16	0	117	3.5%
11TH FLOOR	117	101	16	0	117	3.5%
12TH FLOOR	117	101	16	0	117	3.5%
13TH FLOOR	117	101	16	0	117	3.5%
14TH FLOOR	117	101	16	0	117	3.5%
15TH FLOOR	117	101	16	0	117	3.5%
16TH FLOOR	117	101	16	0	117	3.5%
17TH FLOOR	117	101	16	0	117	3.5%
18TH FLOOR	117	101	16	0	117	3.5%
19TH FLOOR	117	101	16	0	117	3.5%
20TH FLOOR	117	101	16	0	117	3.5%
TOTAL	2729	240	240	73	2729	8.3%

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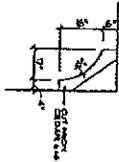
KIPP FLORES ARCHITECTS
 11776 40th Ave. S.W. Suite 100, Aurora, Texas 77003
 (281) 996-4477 Fax (281) 996-0000

281-000-100-100/04/70
 04-20-00
 04-20-00

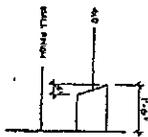


3/4" JOB BUILT COL. OVER 1 1/2" X 1 1/2" SQ. MASONRY BASE

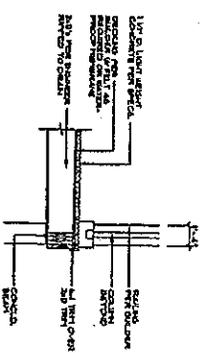
3" JOB-BUILT COLUMN



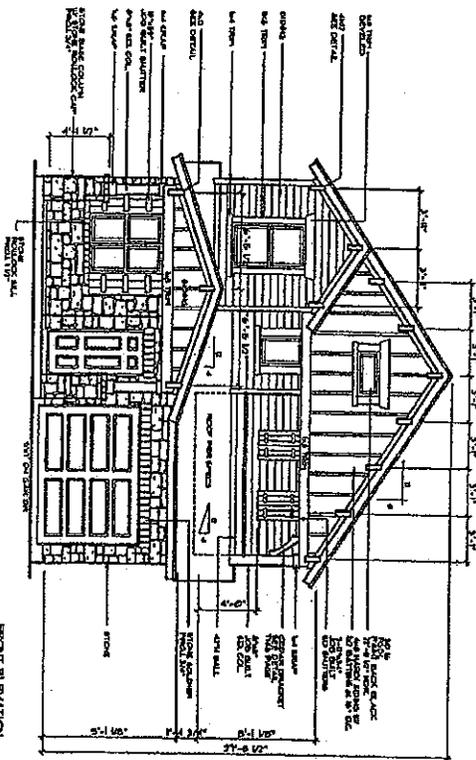
SECOND PORCH BRACKET DETAIL



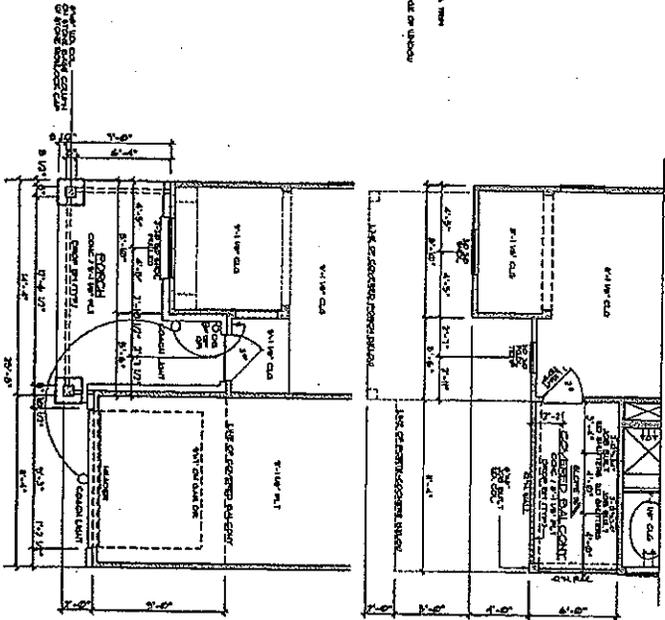
BRACKET DETAIL



1/2" DIA. CONICAL DECK DETAIL



FRONT ELEVATION



SECOND LEVEL FLOOR PLAN

FIRST LEVEL FLOOR PLAN

Room	Area (sq. ft.)	Volume (cu. ft.)	Perimeter (ft.)	Notes
Living Area	1200	3600	120	
Dining Area	800	2400	80	
Kitchen	600	1800	60	
Bathroom	400	1200	40	
Hallway	200	600	20	
Closet	100	300	10	
Stairs	100	300	10	
Front Porch	100	300	10	
Side Porch	100	300	10	
Total	3500	10500	350	

GLAZING PERCENTAGE

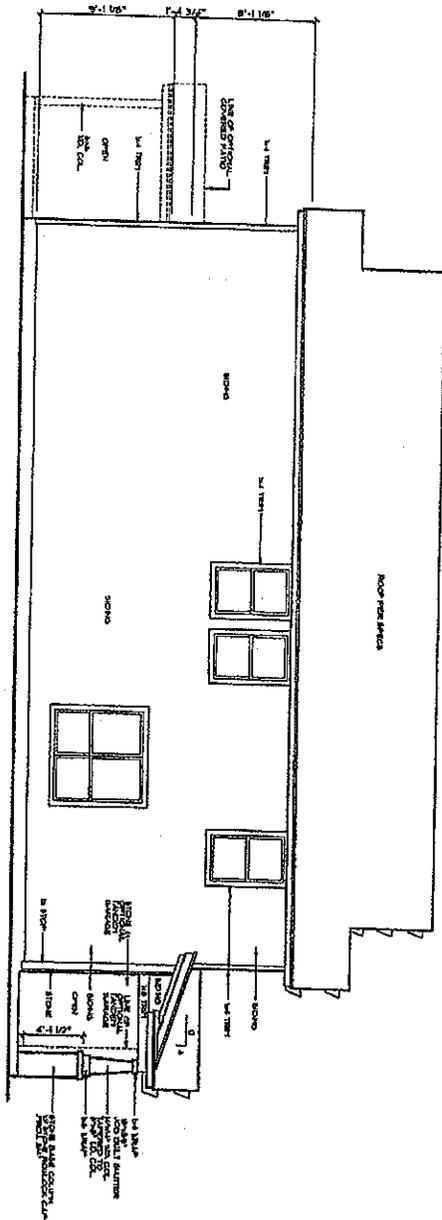
AREA OF GLAZING

GLAZING PERCENTAGE

AREA OF GLAZING

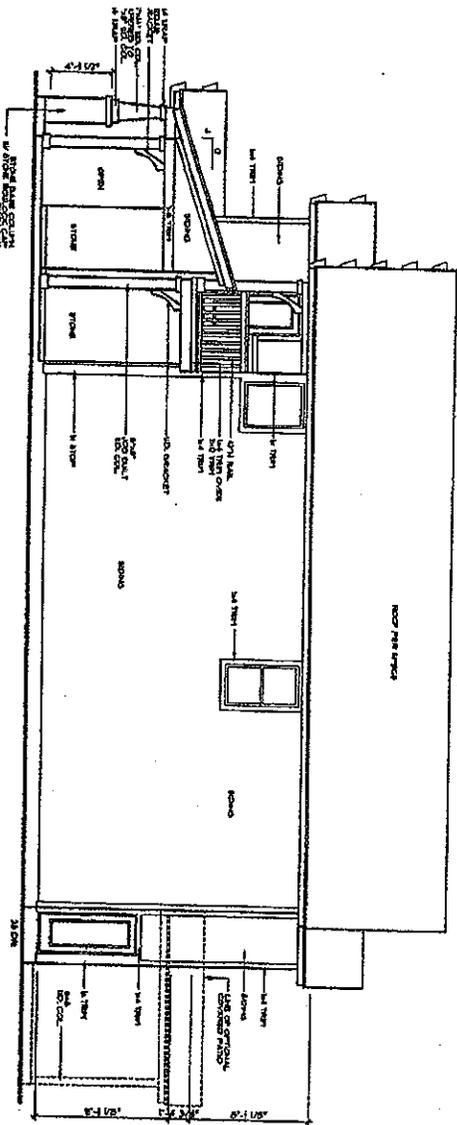
GLAZING PERCENTAGE

Room	Area (sq. ft.)	Volume (cu. ft.)	Perimeter (ft.)	Notes
Living Area	1200	3600	120	
Dining Area	800	2400	80	
Kitchen	600	1800	60	
Bathroom	400	1200	40	
Hallway	200	600	20	
Closet	100	300	10	
Stairs	100	300	10	
Front Porch	100	300	10	
Side Porch	100	300	10	
Total	3500	10500	350	

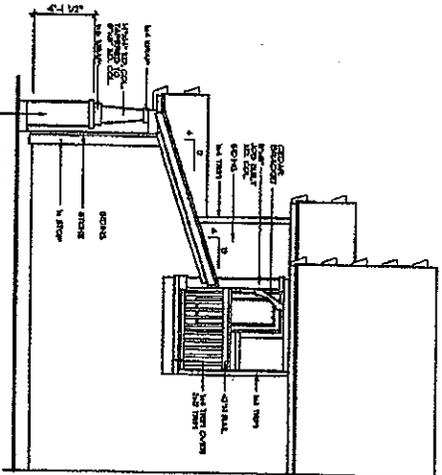


RIGHT ELEVATION

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS NOTED OTHERWISE.
 2. FINISHES TO BE DETERMINED BY THE ARCHITECT.
 3. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AVAILABLE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES CONNECTIONS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY AGREEMENTS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY EASEMENTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RECORD DRAWINGS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY AS-BUILT DRAWINGS.



LEFT ELEVATION



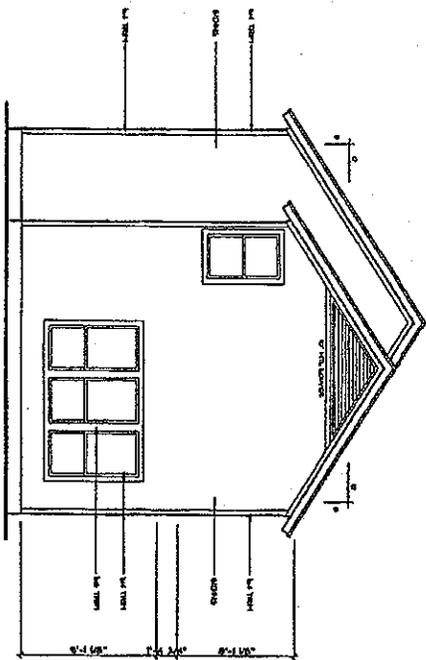
FRONT ELEVATION

2041-004-103.090 01/04/09

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 11779 Jollyville Rd. Suite 100 Austin, Texas 78758

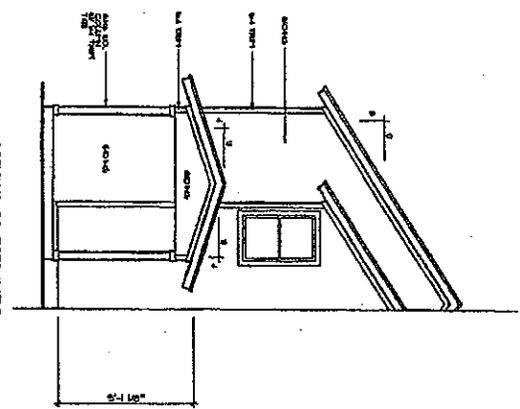
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REAR ELEVATION
Scale: 1/8" = 1'-0"

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES TO BE AS NOTED OR AS SHOWN ON THE FINISH SCHEDULE.
3. PROVIDE WEATHERSTRIP AND INSULATION AT ALL EXTERIOR DOOR AND WINDOW THRESHOLDS.
4. PROVIDE WEATHERSTRIP AND INSULATION AT ALL EXTERIOR DOOR AND WINDOW THRESHOLDS.
5. PROVIDE WEATHERSTRIP AND INSULATION AT ALL EXTERIOR DOOR AND WINDOW THRESHOLDS.



EXTERIOR COVERED PATIO
Scale: 1/8" = 1'-0"

PLAN 1930 RFB

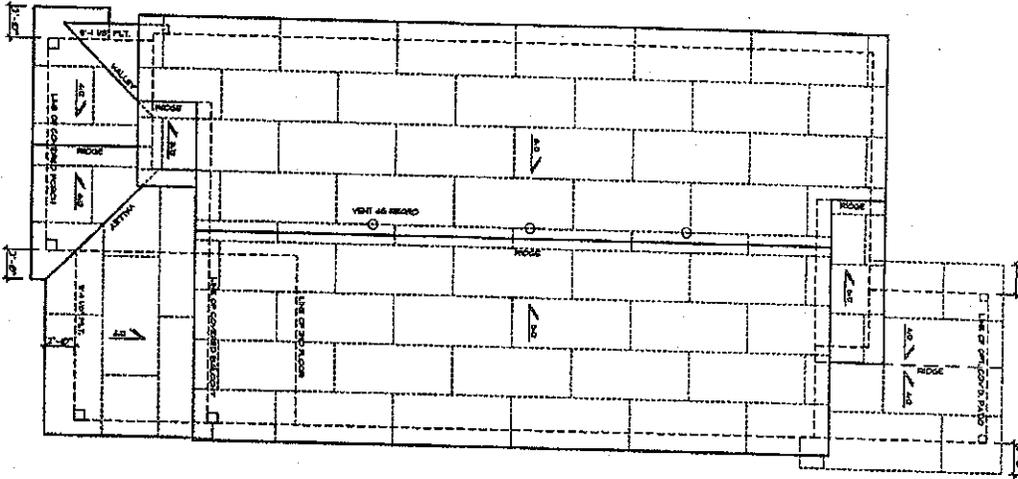
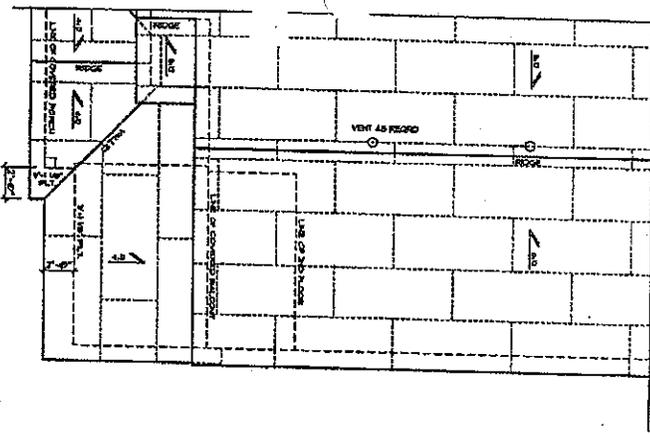
KIPP FLORES ARCHITECTS
 11770 Alameda Rd., Suite 100, Clayton, Missouri 63105
 Phone: (314) 895-0477 Fax: (314) 895-0882
 Website: www.kippflores.com

The architect warrants that the drawings are made to the best of his knowledge, skill and ability, and that he shall not be held responsible for any errors or omissions in the drawings, or for any consequences that may result therefrom, unless it is shown that the architect was negligent in the performance of his duties.

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05-26-08
 Sheet
 8B/11

ORIGINAL TYPED DRAWING
 ROOF PLAN
 DATE: 11/17/09



ROOF PLAN
 DATE: 11/17/09
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 PROJECT: [Name]
 SHEET: [Name]

REVISED 09-07-09 TO ADD FLOORING LINES IN ROOM 200
 REVISED 04-21-09 / REVISION: (13)
 REVISION 02-24-09 / IN BLOW (200) (14)

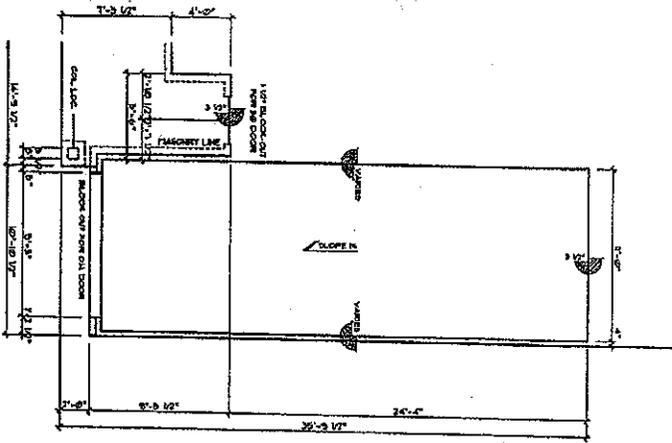
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 TEL: 512.335.5577 FAX: 512.335.5588
 WWW.KIPFLORESARCHITECTS.COM

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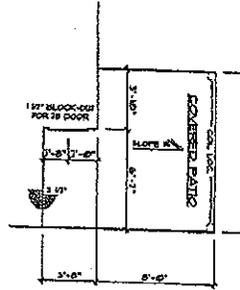
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09-88-00
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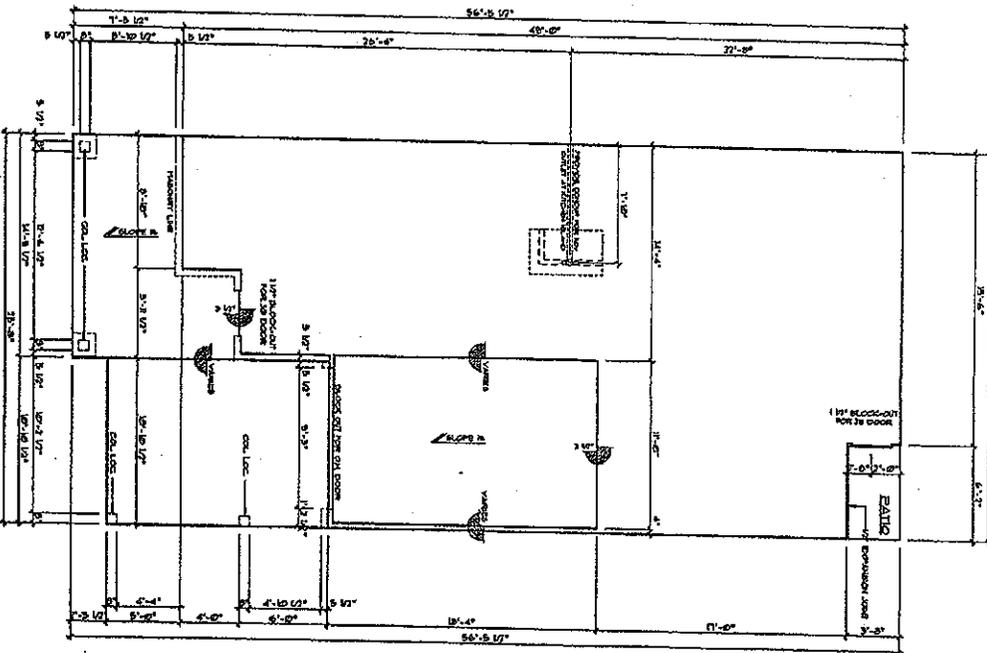
CRITICAL TANDER GARAGE



CRITICAL SQUARED PARTS



FOUNDATION PLAN



REVISED 08-24-04 ADJUST FLOORING LINES IN TANDER ZONE
 REVISED 08-24-04 2' REVISIONAL DRAWING
 REVISED 08-24-04 BY: JLD/DA/COM/PL/AR

KIPP*FLORES ARCHITECTS
 © (813) 336-6477 Fax: (813) 336-0858
 11776 Jollyville Rd. Suite 100 Austin, Texas 78758

We warrant in accordance with the code of ethics in construction contracts, of duration and duration we warrant and any other plan. Better except full responsibility for checking plan to meet existing site conditions. Build for changes to meet in these plans by failure to be experienced, better except full liability for warranty plan and specifications.

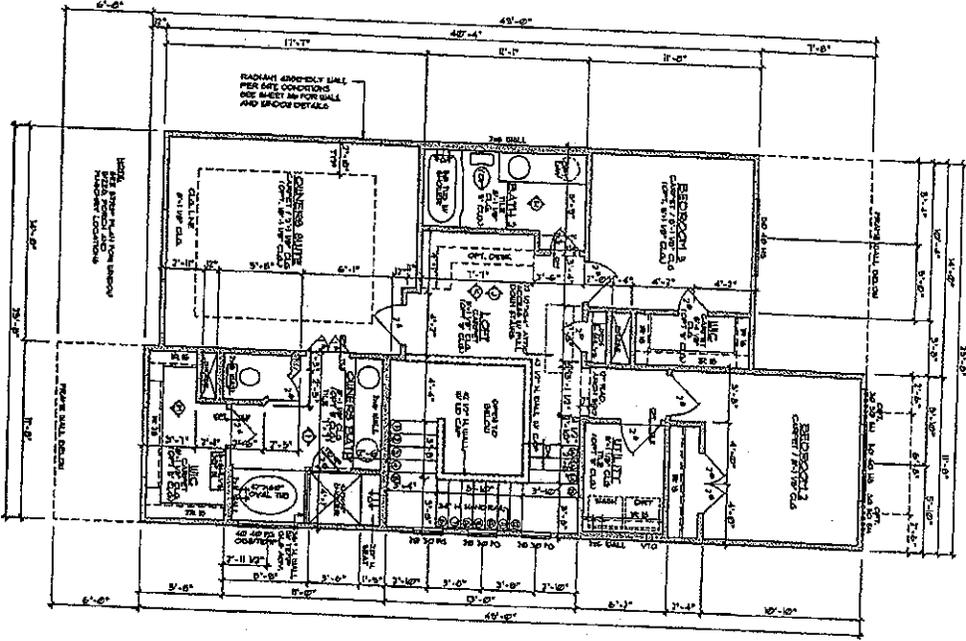
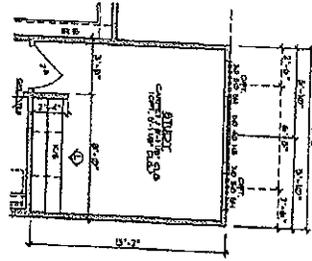
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08-25-09
 Sheet

CONSTRUCTION

PLAN TYPE 2077

DET. STUDY
COURT FRONT



SECOND LEVEL FLOOR PLAN

NOTES:
 1. ALL WORK SHALL BE DONE TO THE SATISFACTION OF THE ARCHITECT.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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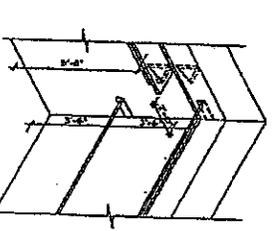
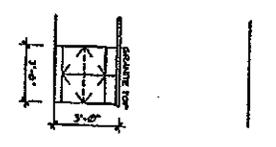
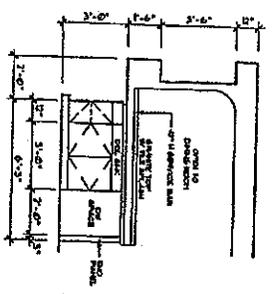
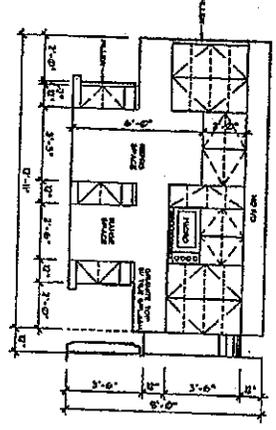
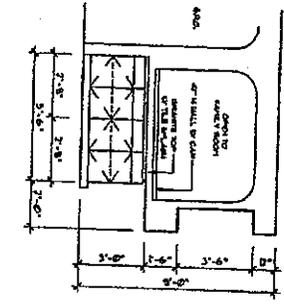
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2	STEEL	50	TON	50.00	2500.00
3	BRICK	1000	1000	1.00	1000.00
4	CEMENT	500	TON	50.00	25000.00
5	AGGREGATE	200	CU YD	200.00	40000.00
6	PAINT	100	TON	100.00	10000.00
7	GLASS	100	TON	100.00	10000.00
8	ROOFING	100	TON	100.00	10000.00
9	MECHANICAL	100	TON	100.00	10000.00
10	ELECTRICAL	100	TON	100.00	10000.00
11	PLUMBING	100	TON	100.00	10000.00
12	LANDSCAPING	100	TON	100.00	10000.00
13	INTERIORS	100	TON	100.00	10000.00
14	EXTERIORS	100	TON	100.00	10000.00
15	FINISHES	100	TON	100.00	10000.00
16	MECHANICAL	100	TON	100.00	10000.00
17	ELECTRICAL	100	TON	100.00	10000.00
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19	LANDSCAPING	100	TON	100.00	10000.00
20	INTERIORS	100	TON	100.00	10000.00
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22	FINISHES	100	TON	100.00	10000.00
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49	EXTERIORS	100	TON	100.00	10000.00
50	FINISHES	100	TON	100.00	10000.00

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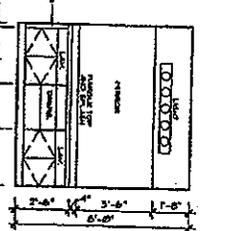
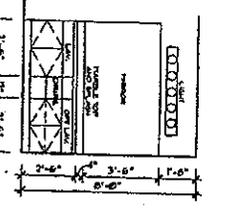
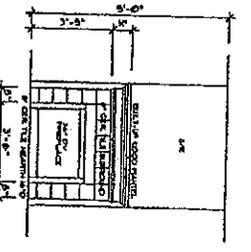
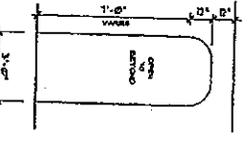
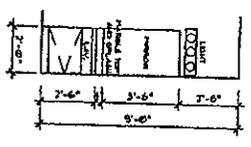
Not to violation to contractor methods and details to construction schedule, all drawings and specifications are approved and are not for sale. Builders should not responsible for changing plans to meet contractor's needs. Small size changes for work to be done by others to be made by the contractor. Builders should be liable for all work and specifications.

DATE: 8-28-08
 SHEET: 0-117

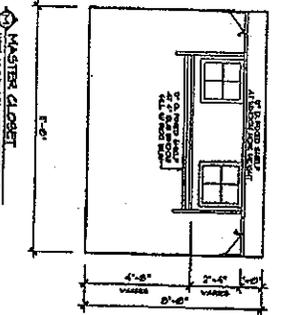
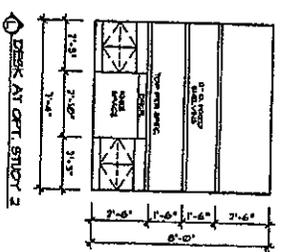
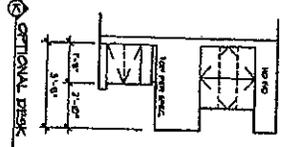
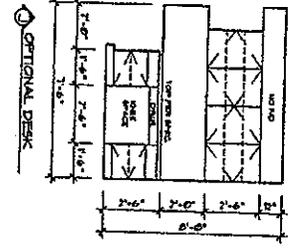


NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

KITCHEN
 KITCHEN
 KITCHEN
 ISLAND



BATH 2
 TYP. BATH
 OPT. HIBERNACE
 BATH 2
 CHINA'S BATH



OPTIONAL DESK
 OPTIONAL DESK
 DESK AT OPT. STUDY 2
 MASTER CLOSET
 MASTER CLOSET

PLAN 2077 RP

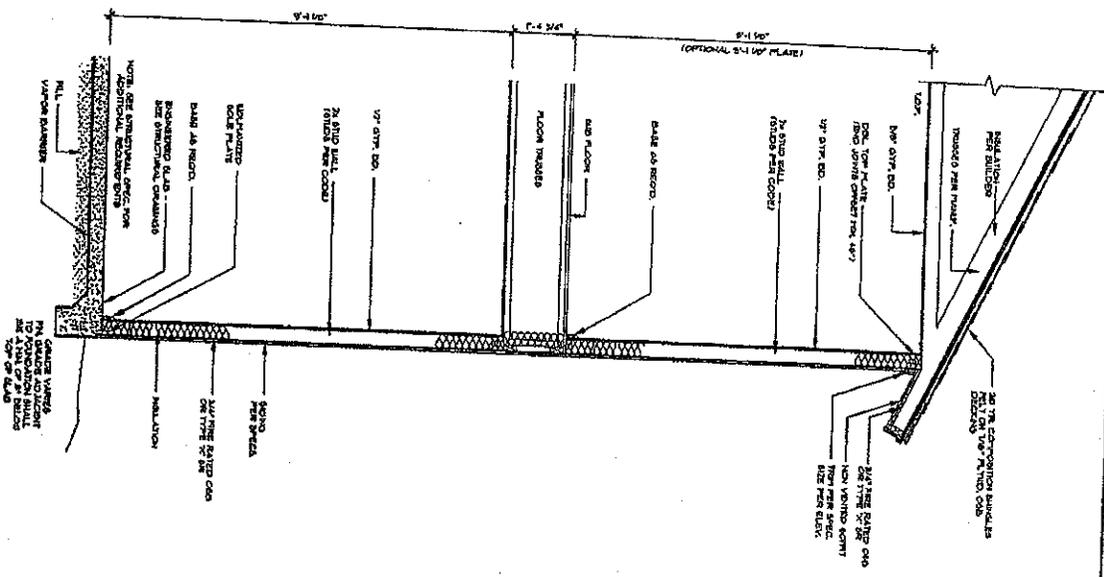
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KIPP FLORES ARCHITECTS
 11778 207th St. Ph.D. Suite 103 Alton, Texas 75708
 817-438-5477 Fax 817-438-2882

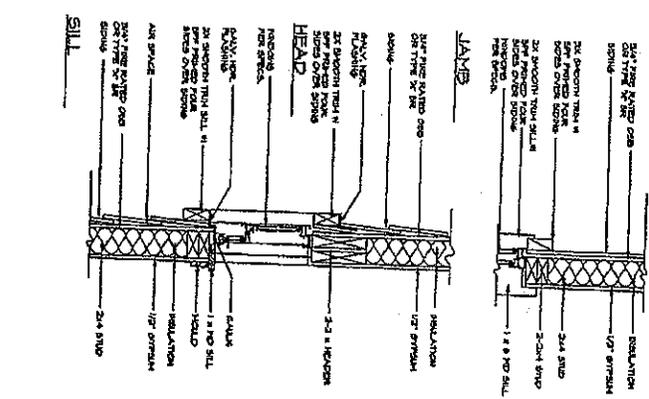
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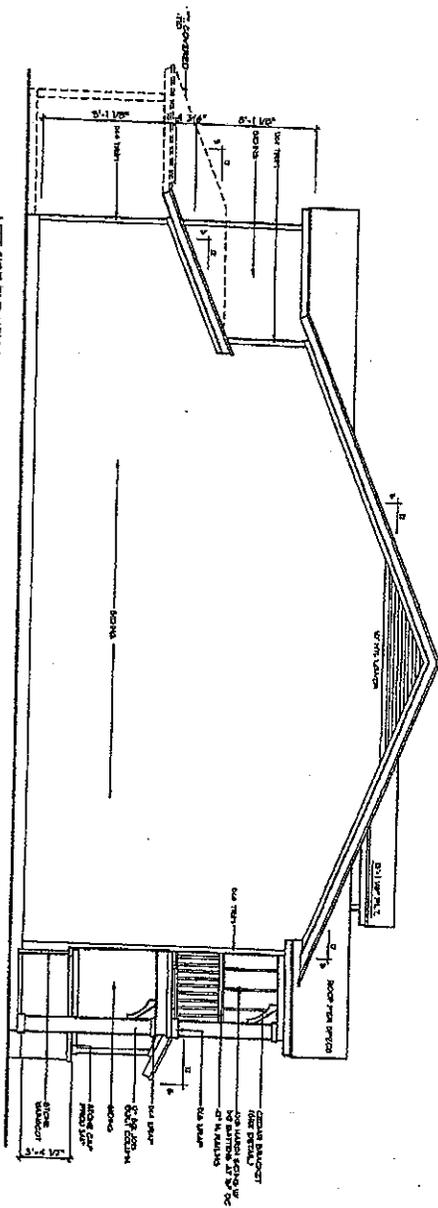
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**TYPICAL FIRE RATED / RADIANT ASSEMBLY
2 STORY EXTERIOR WALL SECTION W/ SIDING**
SCALE 3/8" = 1'-0"

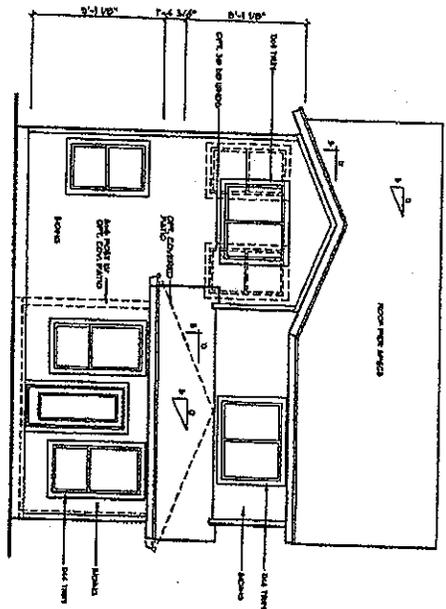
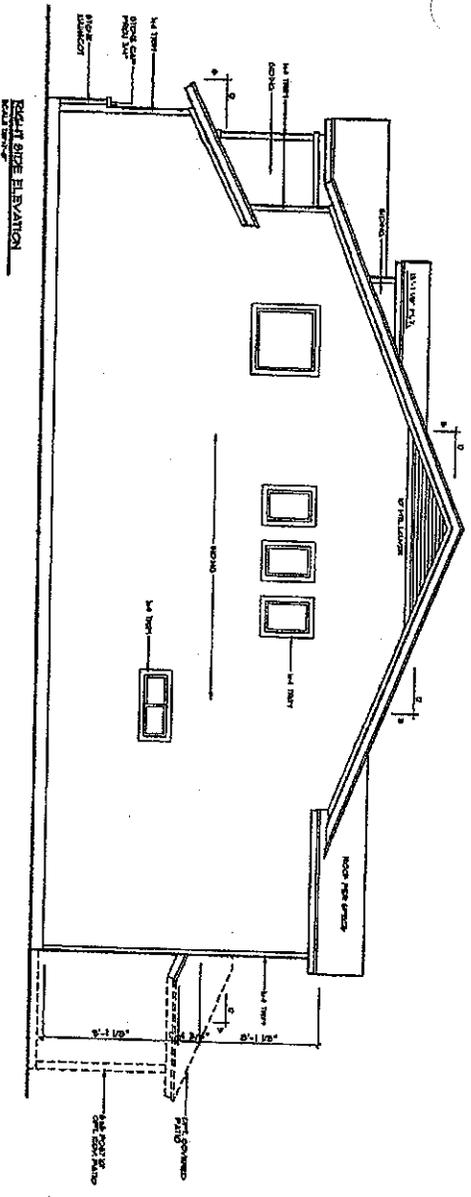


**TYPICAL FIRE RATED / RADIANT ASSEMBLY
EXTERIOR WINDOW DETAIL W/ SIDING**
SCALE 3/8" = 1'-0"





LEFT SIDE ELEVATION
 THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS AND CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABORERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS AND LABORERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES AND SERVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE AND BONDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY SITES AND SERVICES.



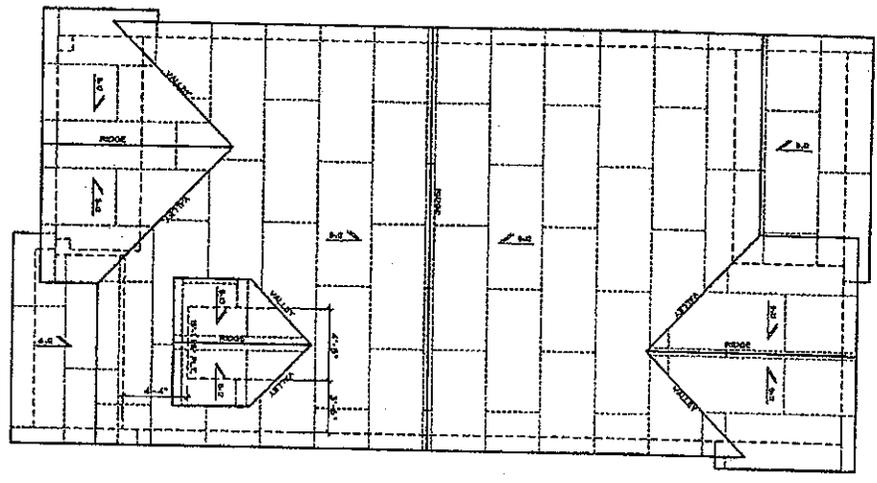
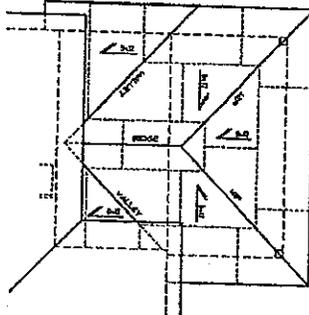
PLAN 2077 RRA

KIPP + FLORES ARCHITECTS
 11779 Jollyville Rd., Suite 100 Austin, Texas 78750
 (512) 236-2077 Fax (512) 236-0852

It is understood that the contractor shall not be responsible for the accuracy of the information and data provided in this drawing. The contractor shall be responsible for obtaining all necessary permits and approvals from the local authorities. The contractor shall be responsible for obtaining all necessary materials and laborers. The contractor shall be responsible for obtaining all necessary utilities and services. The contractor shall be responsible for obtaining all necessary insurance and bonds. The contractor shall be responsible for obtaining all necessary sites and services.

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GENERAL COVERED PATIO



SCOPE PLAN

ALL WORK SHOWN IS TO BE CONSIDERED
 UNLESS OTHERWISE NOTED OTHERWISE
 REFER TO DRAWING FOR ALL DIMENSIONS
 AND MATERIALS TO BE USED
 UNLESS OTHERWISE NOTED OTHERWISE
 REFER TO DRAWING

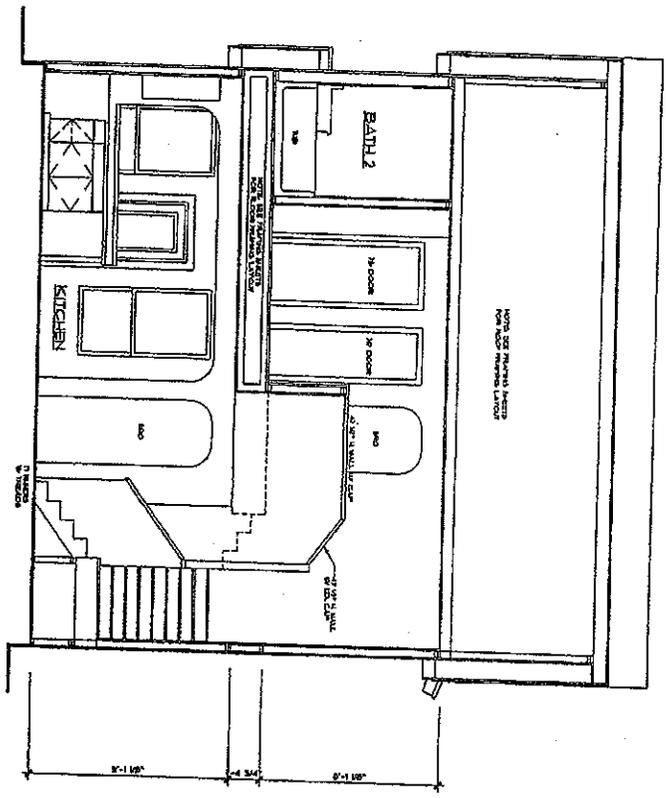
PLAN 2077 RFA

Sheet
 6-22-08
 10/14

KIPP FLORES ARCHITECTS
 6112 845-5477 Fax: 615 835-5425
 11770 Jody-Me Pk. Suite 100 Austin, Texas 78759

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GROSS SECTION
 1. DO NOT SCALE THESE DIMENSIONS IN THE EVENT OF DISCREPANCY BETWEEN THIS PLAN AND THE ARCHITECT'S RECORD DRAWINGS.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

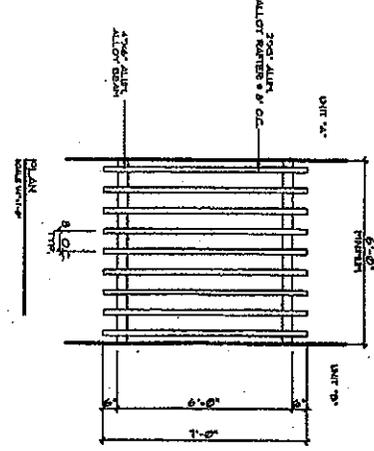
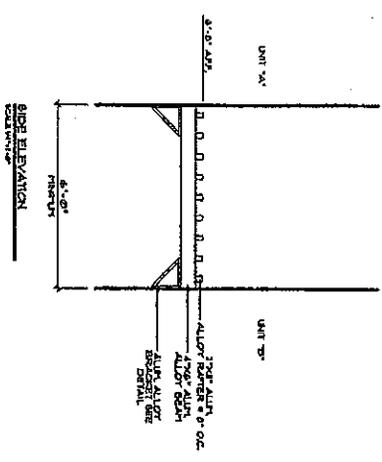
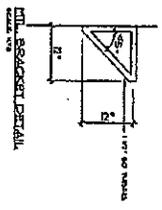
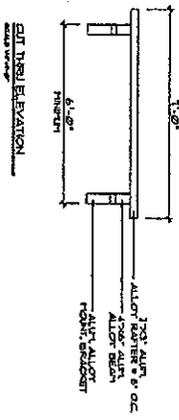
PLAN 2077 RBA

KIPP + FLORES ARCHITECTS
 • 6125 884-0400 • Fax 6125 825-0002
 11770 Jayhawk Rd. Suite 100 Aurora, Texas 78709

In addition to specific notes and details to coordinate with, all drawings are subject to change without notice. All drawings are subject to change without notice. All drawings are subject to change without notice.

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GRASS-002-102.DWG 02/04/03
 Sheet
 8-23-08
 9A.10



BREEZEWAY DETAIL

1 of 1
 Sheet
 0/18/08
 DATE

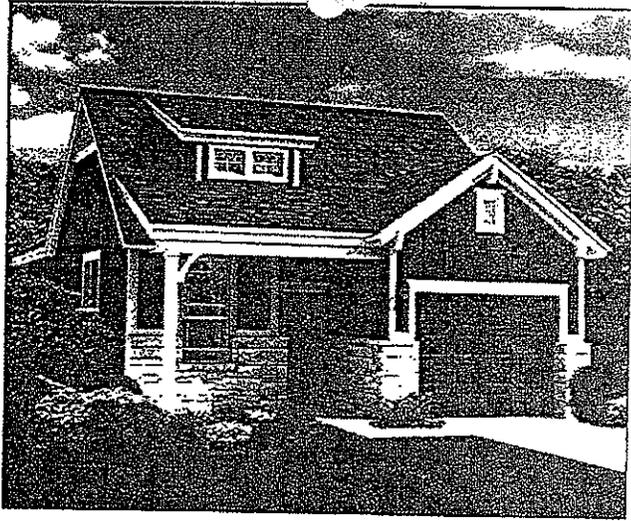
KIPP FLORES ARCHITECTS
 © 2012 309-5477 Fax: (912) 326-0002
 11775 Johnnie Rd. Suite 100 Albany, Georgia 31705

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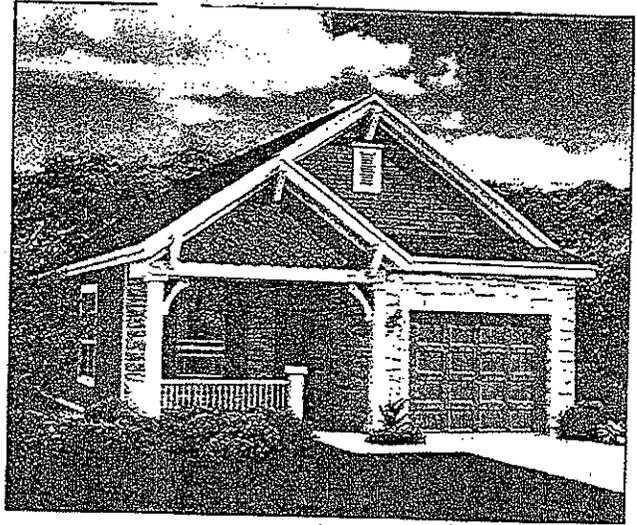
GRASON COMMUNITIES, LTD.

CONSTRUCTION

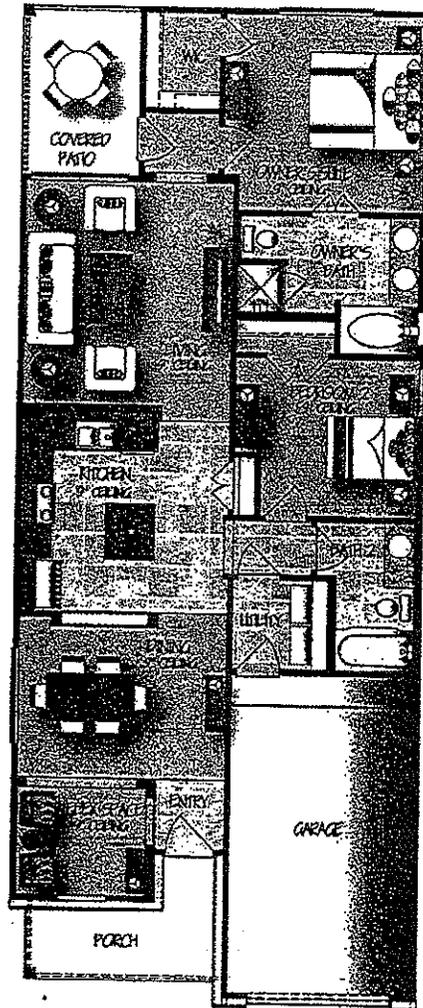
PLAN TYPE 1179



Elevation A



Elevation B



1173 Approximate Living

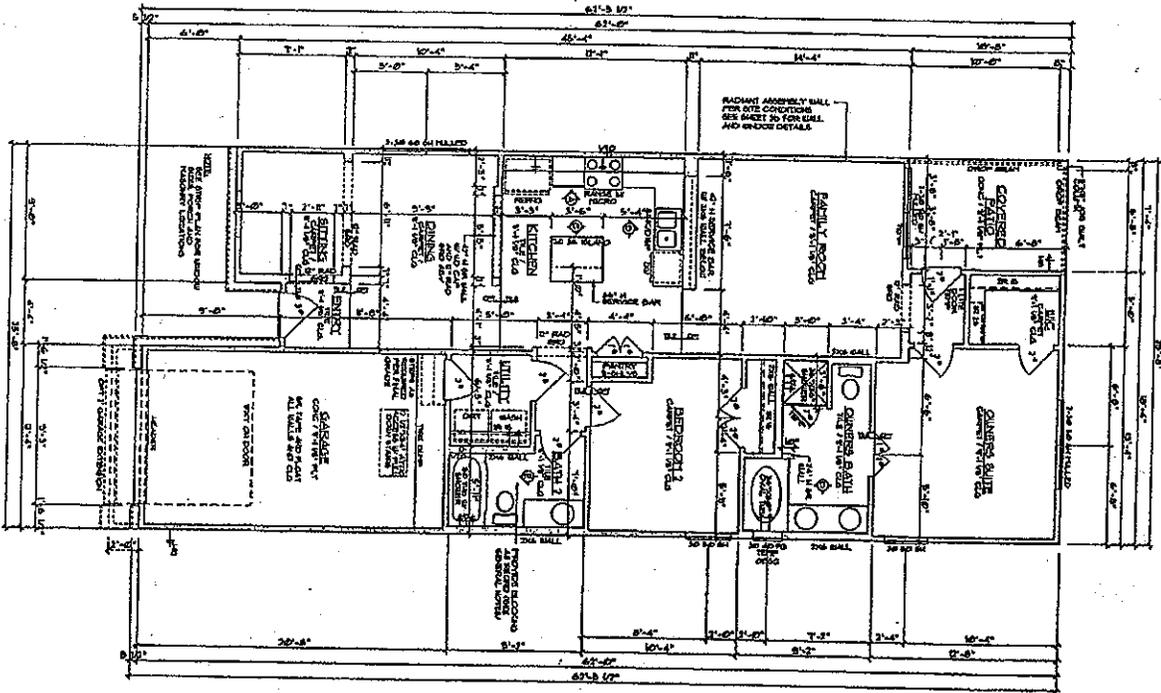
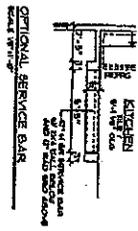
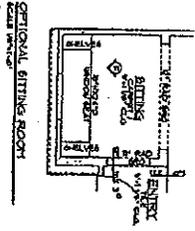


*Prices, floorplans, and features are subject to change anytime without notice. Square footages are approximate and may vary upon elevations and/or options selected. Elevations and floorplans are artist's concepts. Please consult your sales representative for current information. © 2005 Kipp Flores Architects.

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HOMES**

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FLOOR PLAN
 ALL DIMENSIONS TO BE AS SHOWN UNLESS OTHERWISE NOTED. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE. ALL MATERIALS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ARCHITECT.



SCHEDULE OF FINISHES			
NO.	FINISH	AREA	REMARKS
1	PAINT	1,200	INTERIOR WALLS
2	PAINT	800	CEILING
3	WOOD	1,500	FLOORING
4	GLASS	100	DOORS
5	GLASS	100	WINDOWS
6	STONE	500	WALLS
7	STONE	500	FLOORING
8	STONE	500	CEILING
9	STONE	500	ROOFING
10	STONE	500	MECHANICAL
11	STONE	500	ELECTRICAL
12	STONE	500	PLUMBING
13	STONE	500	MECHANICAL
14	STONE	500	ELECTRICAL
15	STONE	500	PLUMBING
16	STONE	500	MECHANICAL
17	STONE	500	ELECTRICAL
18	STONE	500	PLUMBING
19	STONE	500	MECHANICAL
20	STONE	500	ELECTRICAL
21	STONE	500	PLUMBING
22	STONE	500	MECHANICAL
23	STONE	500	ELECTRICAL
24	STONE	500	PLUMBING
25	STONE	500	MECHANICAL
26	STONE	500	ELECTRICAL
27	STONE	500	PLUMBING
28	STONE	500	MECHANICAL
29	STONE	500	ELECTRICAL
30	STONE	500	PLUMBING
31	STONE	500	MECHANICAL
32	STONE	500	ELECTRICAL
33	STONE	500	PLUMBING
34	STONE	500	MECHANICAL
35	STONE	500	ELECTRICAL
36	STONE	500	PLUMBING
37	STONE	500	MECHANICAL
38	STONE	500	ELECTRICAL
39	STONE	500	PLUMBING
40	STONE	500	MECHANICAL
41	STONE	500	ELECTRICAL
42	STONE	500	PLUMBING
43	STONE	500	MECHANICAL
44	STONE	500	ELECTRICAL
45	STONE	500	PLUMBING
46	STONE	500	MECHANICAL
47	STONE	500	ELECTRICAL
48	STONE	500	PLUMBING
49	STONE	500	MECHANICAL
50	STONE	500	ELECTRICAL

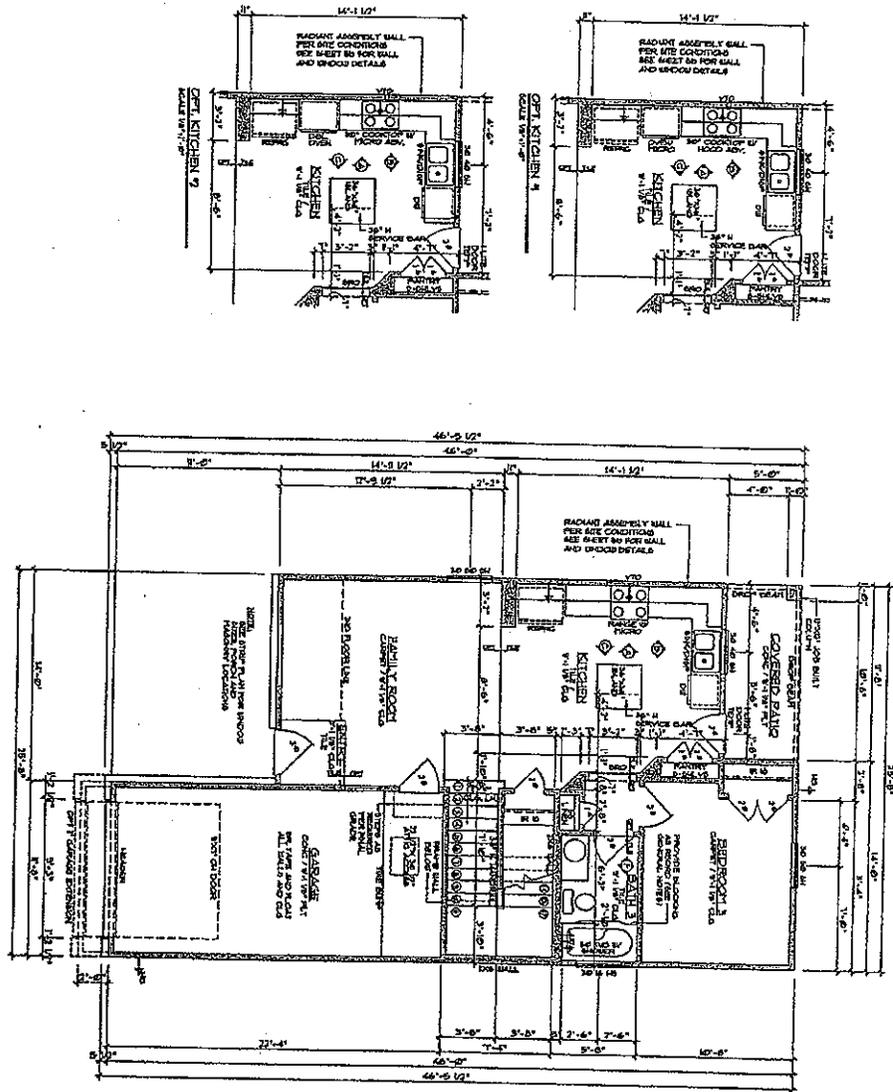
Square Footage Chart			
LINEAL FEET	SQ. FT.	SQ. YARDS	SQ. METERS
1	1	.30	.09
2	4	1.19	.37
3	9	2.59	.81
4	16	4.64	1.46
5	25	7.29	2.20
6	36	10.54	3.05
7	49	14.49	4.11
8	64	19.36	5.38
9	81	25.29	6.85
10	100	32.29	8.53
11	121	40.34	10.41
12	144	49.44	12.50
13	169	59.59	14.80
14	196	70.79	17.31
15	225	83.04	20.00
16	256	96.34	22.89
17	289	110.69	25.98
18	324	126.09	29.27
19	361	132.54	32.76
20	400	140.04	36.45

Square Footage Chart			
LINEAR FEET	SQ. FT.	SQ. YARDS	SQ. METERS
1	1	.30	.09
2	4	1.19	.37
3	9	2.59	.81
4	16	4.64	1.46
5	25	7.29	2.20
6	36	10.54	3.05
7	49	14.49	4.11
8	64	19.36	5.38
9	81	25.29	6.85
10	100	32.29	8.53
11	121	40.34	10.41
12	144	49.44	12.50
13	169	59.59	14.80
14	196	70.79	17.31
15	225	83.04	20.00
16	256	96.34	22.89
17	289	110.69	25.98
18	324	126.09	29.27
19	361	132.54	32.76
20	400	140.04	36.45

PLAN 1178
 RF

C O N S T R U C T I O N

PLAN TYPE 1299



2ND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
 ALL DOORS SHALL BE 36" WIDE UNLESS OTHERWISE NOTED.
 ALL WINDOWS SHALL BE 48" WIDE UNLESS OTHERWISE NOTED.
 ALL FLOORS SHALL BE 4" THICK UNLESS OTHERWISE NOTED.
 ALL CEILING SHALL BE 8' UNLESS OTHERWISE NOTED.
 ALL ROOF SHALL BE 4" UNLESS OTHERWISE NOTED.
 ALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 ALL MATERIALS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IRC.
 ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 IEBC.

FLOOR	W/THICKNESS
1ST FLOOR	128
2ND FLOOR	128
TOTAL	256

Room	Area
1st Floor	128
2nd Floor	128
TOTAL	256

Room	Area	Notes
Living Area	128	
Dining Area	128	
Kitchen	128	
Bedroom	128	
Bathroom	128	
Terrace	128	
TOTAL	256	

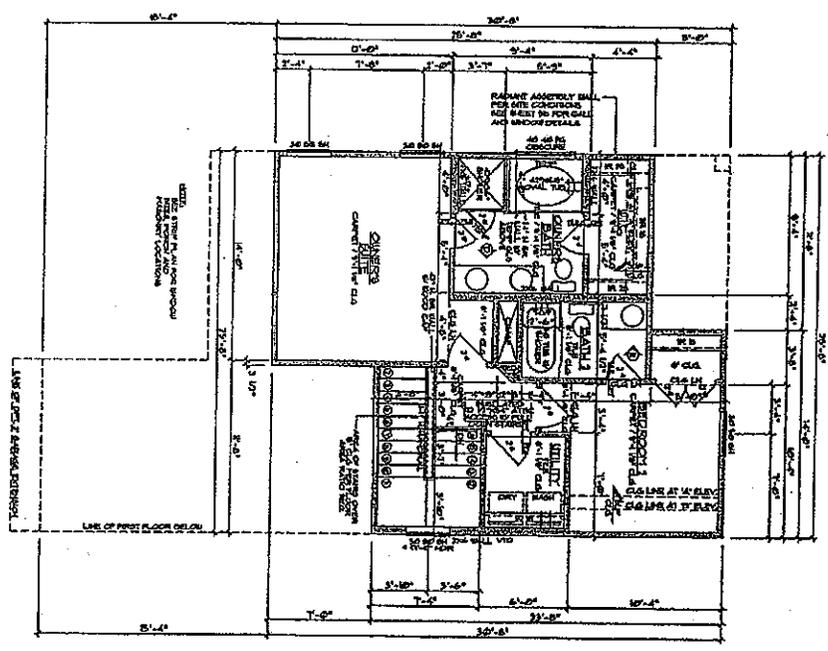
PLAN 1299 PJ

1 of 10
 Sheet
 11/29/10

KIPP FLORES ARCHITECTS
 (512) 336-0477 Fax: (512) 336-0822
 6 Jodyville Rd., Suite 100 Austin, Texas 78709

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2ND FLOOR PLAN
 SCALE 1/8" = 1'-0"
 PLANS ARE COMPLIANT W/ 2009 IRC

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE (IRC) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ELECTRICAL CODE (IEC) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL FIRE AND SAFETY CODE (IFSC) AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL BUILDING DEPARTMENT (IBD) AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL SMOKE ALARM CODE (ISAC) AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL ACCESSIBILITY AND MOBILITY ACT (AIMA) AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC) AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2009 INTERNATIONAL WELL-BEING AND PRODUCTIVITY CODE (IWPC) AND ALL APPLICABLE LOCAL ORDINANCES.

REVISIONS		DATE	BY	DESCRIPTION
1	ADD	11/29/10	RF	ISSUE FOR PERMITS
2	REV	11/29/10	RF	REVISED PERMITS
3	REV	11/29/10	RF	REVISED PERMITS
4	REV	11/29/10	RF	REVISED PERMITS
5	REV	11/29/10	RF	REVISED PERMITS
6	REV	11/29/10	RF	REVISED PERMITS
7	REV	11/29/10	RF	REVISED PERMITS
8	REV	11/29/10	RF	REVISED PERMITS
9	REV	11/29/10	RF	REVISED PERMITS
10	REV	11/29/10	RF	REVISED PERMITS

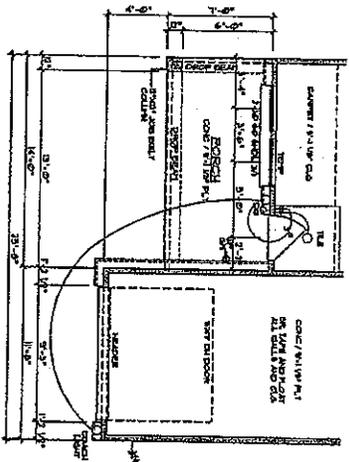
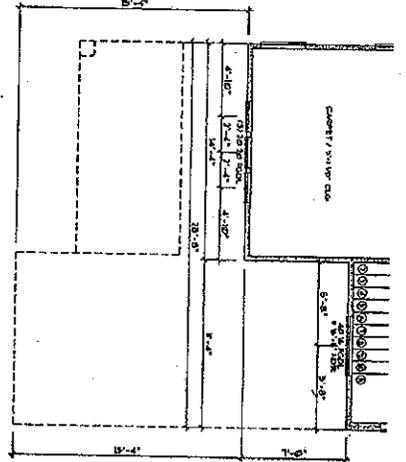
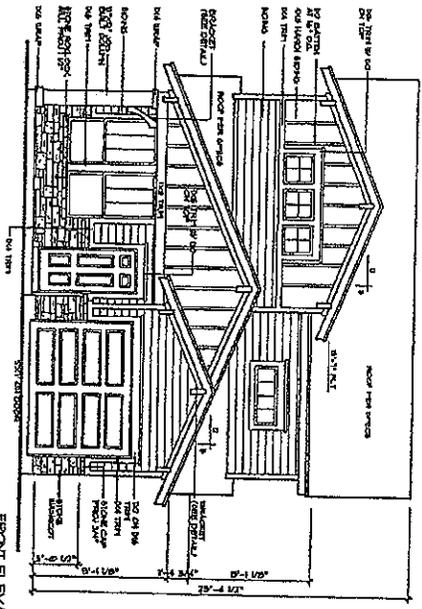
PLAN 1299 RF

11/29/10
 2 of 10
 Sheet

KIPP FLORES ARCHITECTS
 1121 205-6-07 Fax: 205-6-0822
 100-100 Ave. 100 Austin, Texas 78700

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ASSUMPTIONS			
1. FOUNDATION	2. ROOFING	3. INTERIORS	4. EXTERIORS
5. MECHANICAL	6. ELECTRICAL	7. PLUMBING	8. PAINTING
9. FLOORING	10. GLAZING	11. SIDERING	12. FINISHES
13. LIGHTING	14. FURNITURE	15. APPLIANCES	16. ACCESSORIES

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	SQ. FT.	100.00	100.00
2	ROOFING	1	SQ. FT.	200.00	200.00
3	INTERIORS	1	SQ. FT.	300.00	300.00
4	EXTERIORS	1	SQ. FT.	150.00	150.00
5	MECHANICAL	1	SQ. FT.	100.00	100.00
6	ELECTRICAL	1	SQ. FT.	100.00	100.00
7	PLUMBING	1	SQ. FT.	100.00	100.00
8	PAINTING	1	SQ. FT.	100.00	100.00
9	FLOORING	1	SQ. FT.	100.00	100.00
10	GLAZING	1	SQ. FT.	100.00	100.00
11	SIDERING	1	SQ. FT.	100.00	100.00
12	FINISHES	1	SQ. FT.	100.00	100.00
13	LIGHTING	1	SQ. FT.	100.00	100.00
14	FURNITURE	1	SQ. FT.	100.00	100.00
15	APPLIANCES	1	SQ. FT.	100.00	100.00
16	ACCESSORIES	1	SQ. FT.	100.00	100.00

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	SQ. FT.	100.00	100.00
2	ROOFING	1	SQ. FT.	200.00	200.00
3	INTERIORS	1	SQ. FT.	300.00	300.00
4	EXTERIORS	1	SQ. FT.	150.00	150.00
5	MECHANICAL	1	SQ. FT.	100.00	100.00
6	ELECTRICAL	1	SQ. FT.	100.00	100.00
7	PLUMBING	1	SQ. FT.	100.00	100.00
8	PAINTING	1	SQ. FT.	100.00	100.00
9	FLOORING	1	SQ. FT.	100.00	100.00
10	GLAZING	1	SQ. FT.	100.00	100.00
11	SIDERING	1	SQ. FT.	100.00	100.00
12	FINISHES	1	SQ. FT.	100.00	100.00
13	LIGHTING	1	SQ. FT.	100.00	100.00
14	FURNITURE	1	SQ. FT.	100.00	100.00
15	APPLIANCES	1	SQ. FT.	100.00	100.00
16	ACCESSORIES	1	SQ. FT.	100.00	100.00

NOTE: THIS CHART DOES NOT BEHOLD ANY PLAN OPTIONS CHANGED. WHEN DOES NOT INCLUDE RIBBON AND BOOK AREA.

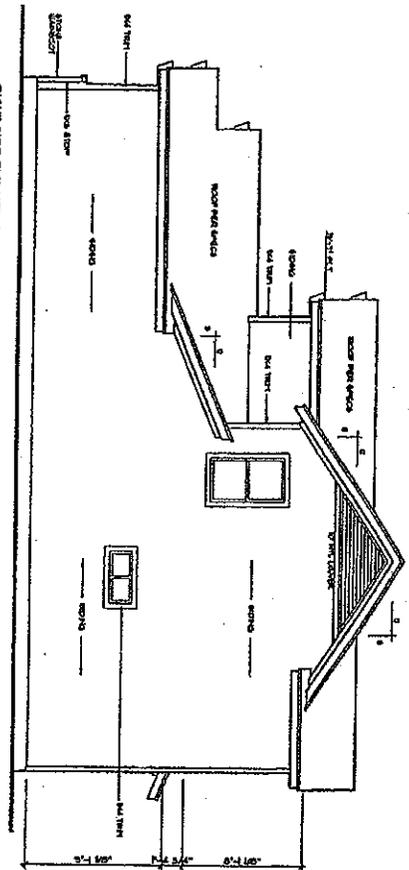
PLAN 1299 RPA

DATE: 08-12-2010 12:00 PM
 DRAWN BY: J. FLORES
 CHECKED BY: J. FLORES
 SCALE: AS SHOWN
 SHEET: 0A/10

KIPP FLORES ARCHITECTS
 1110 636-6477
 601-112-3383
 601-112-3383
 601-112-3383

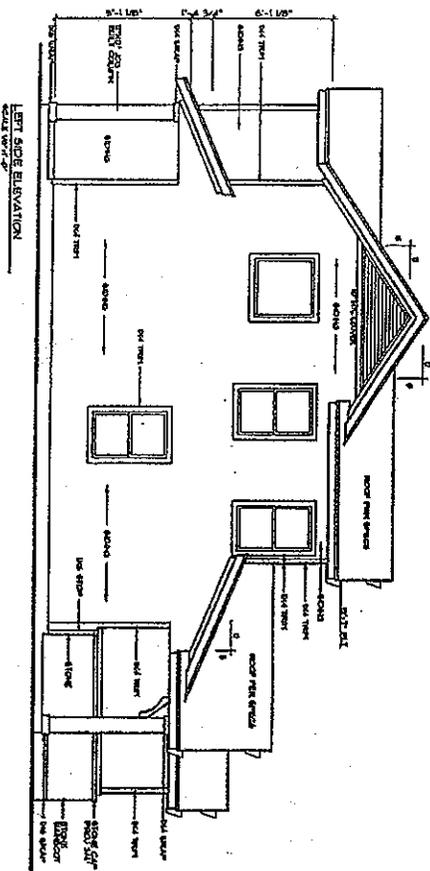
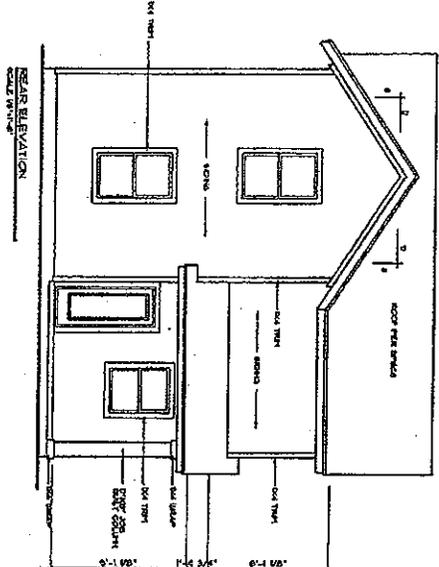
It is intended to be used as a guide only and does not constitute a contract. The client is responsible for providing all necessary information and for obtaining all necessary permits. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

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RIGHT SIDE ELEVATION
 SCALE 1/8" = 1'-0"

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL FINISHES ARE TO BE AS SHOWN ON THE PLAN.
 3. ALL MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE.
 4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CANADIAN BUILDRING CODES AND ALL APPLICABLE REGULATIONS.
 5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS OR THE COMPLETION OF THE DRAWINGS.



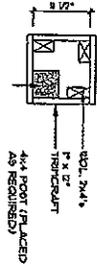
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DATE: 11/30/79
 SHEET: 7A of 10

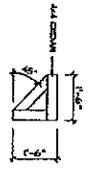
KIPP FLORES ARCHITECTS
 2170 232-6477
 2170 232-6477
 2170 232-6477

It is understood that the architect's fee is for the preparation of the drawings and specifications only and does not include the cost of the construction. The architect is not responsible for the accuracy of the dimensions or the completion of the drawings. The architect assumes no responsibility for the accuracy of the dimensions or the completion of the drawings.

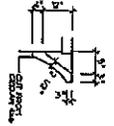
CRASON COMMUNITIES, LTD.



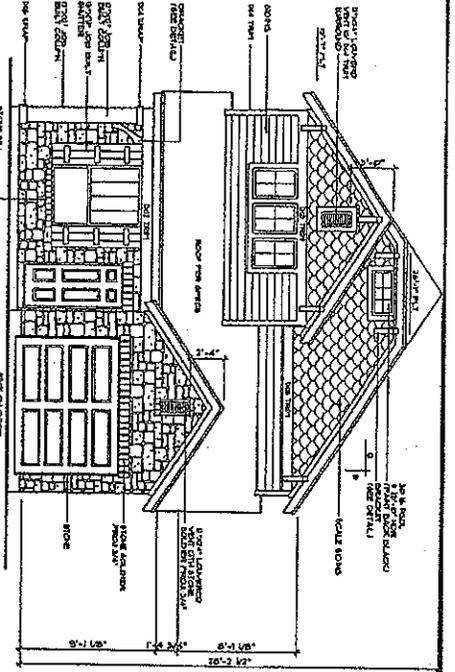
1" JOB BUILT COLUMN DETAIL
SCALE: N/A



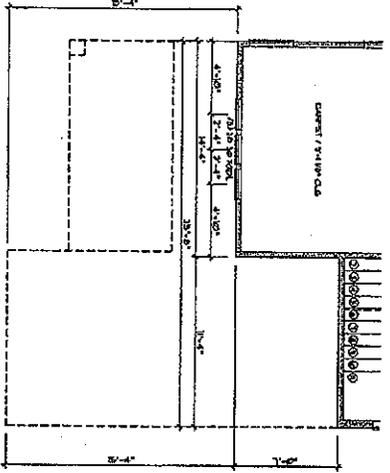
BRACKET DETAIL AT GABLES
SCALE: N/A



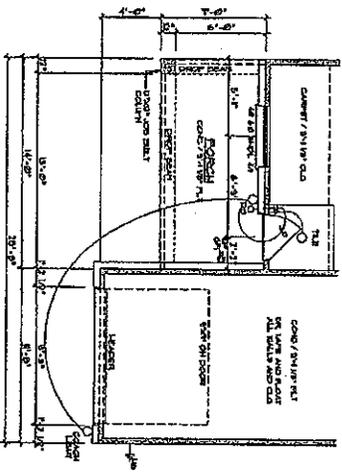
BRACKET DETAIL AT PORCH
SCALE: N/A



FRONT ELEVATION
SCALE: N/A



SECOND LEVEL STRIP PLAN
SCALE: N/A

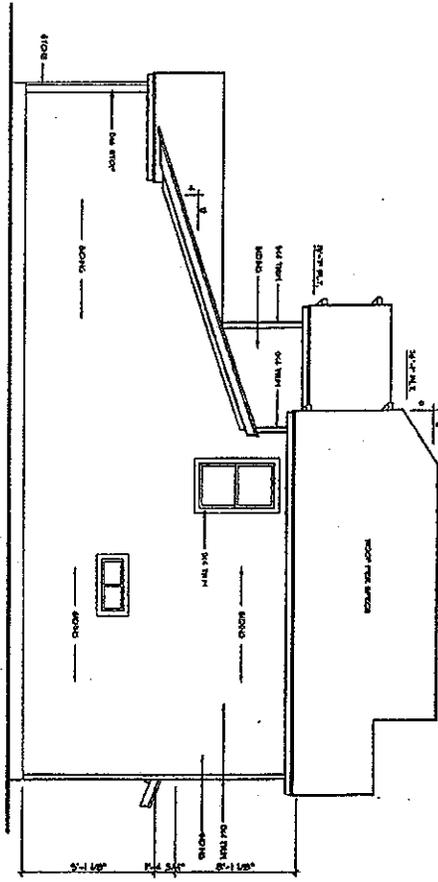


FIRST LEVEL STRIP PLAN
SCALE: N/A

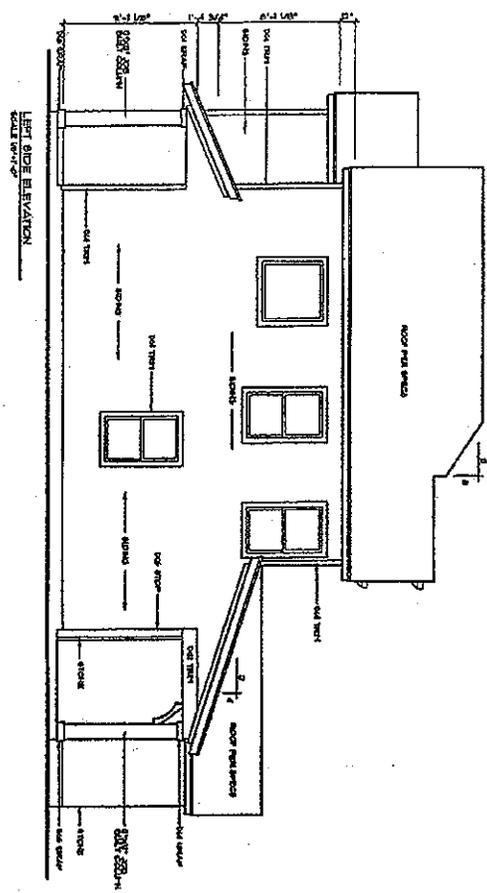
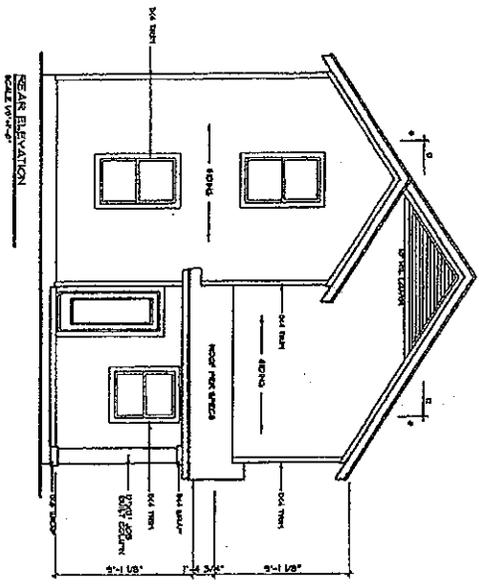
MATERIALS		QUANTITIES		COSTS	
ITEM	UNIT	QTY	UNIT PRICE	TOTAL	PERCENT
CEILING	SQ. FT.	1,200	0.50	600.00	10.00
FLOOR	SQ. FT.	1,200	0.75	900.00	15.00
WALLS	SQ. FT.	1,200	0.30	360.00	6.00
ROOF	SQ. FT.	1,200	0.40	480.00	8.00
PAINT	GALES	100	4.00	400.00	7.00
TRIM	LINEAL FT.	100	3.00	300.00	5.00
DOORS	NO.	1	100.00	100.00	1.70
WINDOWS	NO.	2	50.00	100.00	1.70
STAIRS	NO.	1	100.00	100.00	1.70
HALLWAY	NO.	1	100.00	100.00	1.70
BATH	NO.	1	100.00	100.00	1.70
BED ROOM	NO.	1	100.00	100.00	1.70
KITCHEN	NO.	1	100.00	100.00	1.70
DINING AREA	NO.	1	100.00	100.00	1.70
LIVING AREA	NO.	1	100.00	100.00	1.70
PORCH	NO.	1	100.00	100.00	1.70
TOTAL				2,400.00	42.00

ITEM	UNIT	QTY	UNIT PRICE	TOTAL	PERCENT
CEILING	SQ. FT.	1,200	0.50	600.00	10.00
FLOOR	SQ. FT.	1,200	0.75	900.00	15.00
WALLS	SQ. FT.	1,200	0.30	360.00	6.00
ROOF	SQ. FT.	1,200	0.40	480.00	8.00
PAINT	GALES	100	4.00	400.00	7.00
TRIM	LINEAL FT.	100	3.00	300.00	5.00
DOORS	NO.	1	100.00	100.00	1.70
WINDOWS	NO.	2	50.00	100.00	1.70
STAIRS	NO.	1	100.00	100.00	1.70
HALLWAY	NO.	1	100.00	100.00	1.70
BATH	NO.	1	100.00	100.00	1.70
BED ROOM	NO.	1	100.00	100.00	1.70
KITCHEN	NO.	1	100.00	100.00	1.70
DINING AREA	NO.	1	100.00	100.00	1.70
LIVING AREA	NO.	1	100.00	100.00	1.70
PORCH	NO.	1	100.00	100.00	1.70
TOTAL				2,400.00	42.00

NOTE: THIS SHEET DOES NOT SET
AND PLAN OPTIONS OFFERED.
NOTE: MASSING PERCENTAGES CALCULATED USING NET WALL AREA
WHICH DOES NOT INCLUDE WINDOW AND DOOR AREA.



RIGHT SIDE ELEVATION
 SCALE 1/8" = 1'-0"
 ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
 PROVIDE SILLING ABOVE ALL WINDOWS AND DOORS.
 PROVIDE SILLING ABOVE ALL WINDOWS AND DOORS.



PLAN 1299 RFB

<p>11/20/10 Sheet TBS/10</p>	<p>KIPP FLORES ARCHITECTS 775 Jollyville Pk., Suite 100 Austin, Texas 78750 © 2010 KIPP FLORES ARCHITECTS</p>	<p>GRASON COMMUNITIES, LTD.</p>
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